



Administration Office
503/645-6433
Fax 503/629-6301

**Board of Directors Regular Meeting
August 10, 2015
5:30 p.m. Executive Session; 7:00 p.m. Regular Meeting
HMT Recreation Complex, Peg Ogilbee Dryland Meeting Room
15707 SW Walker Road, Beaverton**

AGENDA

1. Executive Session*
 - A. Legal
 - B. Land
2. Call Regular Meeting to Order
3. Action Resulting from Executive Session
4. [Presentation: SOLVE Citizenship Award: Melissa Marcum](#)
5. Audience Time**
6. Board Time
7. Consent Agenda***
 - A. [Approve: Minutes of June 22, 2015 Regular Board Meeting](#)
 - B. [Approve: Monthly Bills](#)
 - C. [Approve: Monthly Financial Statement](#)
 - D. [Approve: Resolution Acknowledging Recent Property Acquisitions and Describing Funding Source\(s\) and Purpose](#)
 - E. [Approve: Veterans Memorial Park Agreements](#)
 - F. [Award: Cedar Hills Recreation Center Seismic Upgrade Project](#)
 - G. [Approve: Resolution Appointing Parks Bond Citizen Oversight Committee Member](#)
8. Unfinished Business
 - A. [Update: Bond Program](#)
 - B. [Review: Trails Functional Plan](#)
 - C. [Information: General Manager's Report](#)
9. New Business
 - A. [Approve: Resolution Renaming Hideaway Park to Babette Horenstein Memorial Park](#)
 - B. [Approve: Recommended Goal Outcomes for Fiscal Year 2016/17 Planning and Budgeting](#)
10. Adjourn

Executive Session:** Executive Sessions are permitted under the authority of ORS 192.660. Copies of the statute are available at the offices of Tualatin Hills Park & Recreation District. *Public Comment/Audience Time:** If you wish to be heard on an item not on the agenda, or a Consent Agenda item, you may be heard under Audience Time with a 3-minute time limit. If you wish to speak on an agenda item, also with a 3-minute time limit, please wait until it is before the Board. Note: Agenda items may not be considered in the order listed. *****Consent Agenda:** If you wish to speak on an agenda item on the Consent Agenda, you may be heard under Audience Time. Consent Agenda items will be approved without discussion unless there is a request to discuss a particular Consent Agenda item. The issue separately discussed will be voted on separately. In compliance with the Americans with Disabilities Act (ADA), this material, in an alternate format, or special accommodations for the meeting, will be made available by calling 503-645-6433 at least 48 hours prior to the meeting.



MEMO

DATE: July 31, 2015
TO: Board of Directors
FROM: Doug Menke, General Manager

RE: **Information Regarding the August 10, 2015 Board of Directors Meeting**

Agenda Item #4 – SOLVE Citizenship Award: Melissa Marcum

SOLVE's CEO, Maureen Fisher, and Project Coordinator, Quintin Bauer, will be in attendance at your meeting to recognize Melissa Marcum, THPRD Natural Resources Volunteer Coordinator, with the SOLVE Citizenship Award.

Agenda Item #7 – Consent Agenda

Attached please find consent agenda items #7A-G for your review and approval.

- Action Requested:** **Approve Consent Agenda Items #7A-G as submitted:**
- A. **Approve: Minutes of June 22, 2015 Board Meeting**
 - B. **Approve: Monthly Bills**
 - C. **Approve: Monthly Financial Statement**
 - D. **Approve: Resolution Acknowledging Recent Property Acquisitions and Describing Funding Sources and Purpose**
 - E. **Approve: Veterans Memorial Park Agreements**
 - F. **Award: Cedar Hills Recreation Center Seismic Upgrade Project**
 - G. **Approve: Resolution Appointing Parks Bond Citizen Oversight Committee Member**

Agenda Item #8 – Unfinished Business

A. Bond Program

Attached please find a memo providing an update regarding recent activities centered around the Bond Program. Keith Hobson, director of Business & Facilities, and Aisha Panas, director of Park & Recreation Services, will be at your meeting to provide an overview of the memo and to answer any questions the board may have.

B. Trails Functional Plan

Attached please find a memo reporting that the draft Trails Functional Plan will be presented to the board for review. Keith Hobson, director of Business & Facilities, and Steve Gulgren, superintendent of Design & Development, will be at your meeting to present highlights of the plan and to answer any questions the board may have.

- Action Requested:** **No formal action is requested. Staff is seeking board of directors' review and input of the Trails Functional Plan. Board approval of the final document will be requested at the October 5, 2015 regular board meeting.**

C. [General Manager's Report](#)

Attached please find the General Manager's Report for the August regular board meeting.

Agenda Item #9 – New Business

A. [Resolution Renaming Hideaway Park to Babette Horenstein Memorial Park](#)

Attached please find a memo proposing that Hideaway Park be renamed Babette Horenstein Memorial Park in honor of the longtime THPRD board member and community volunteer who passed away in late 2013. Bob Wayt, director of Communications & Outreach, will be at your meeting to provide an overview of the proposal and to answer any questions the board may have.

Action Requested: Board of directors' approval of Resolution 2015-15, Renaming Hideaway Park to Babette Horenstein Memorial Park.

B. [Recommended Goal Outcomes for Fiscal Year 2016/17 Planning and Budgeting](#)

Attached please find a memo regarding a priority list of goal outcomes that has been compiled for consideration by the board of directors for use in the FY 2016/17 planning and budget process. Keith Hobson, director of Business & Facilities, and Seth Reeser, Operations Analysis Manager, will be at your meeting to provide an overview of the memo and list, and to answer any questions the board may have.

Action Requested: Board of directors' approval of the goal outcomes for priority performance metrics for use in the fiscal year 2016/17 planning and budgeting process.

Other Packet Enclosures

- [Management Report to the Board](#)
- [Monthly Capital Report](#)
- [Monthly Bond Capital Report](#)
- [System Development Charge Report](#)
- [Newspaper Articles](#)



MEMO

DATE: July 23, 2015
TO: Doug Menke, General Manager
FROM: Aisha Panas, Director of Park & Recreation Services

RE: **SOLVE Citizenship Award: Melissa Marcum**

At the 2015 SOLVE Summerfest, Natural Resources Volunteer Coordinator Melissa Marcum was awarded a Citizenship Award.

SOLVE established the Citizenship Awards in 1994 as a unique way of recognizing outstanding businesses, community groups, educators, and individuals from across the state. The volunteer and educational efforts of these individuals and organizations help to restore our natural spaces and build a legacy of stewardship.

Melissa has partnered with SOLVE to lead 109 different projects, placing her among the most active SOLVE volunteer leaders ever. Melissa began partnering with SOLVE on volunteer projects in 2003 and has continued to involve families, students, scout groups, community organizations and businesses in SOLVE events each year. Through these events she has engaged 2,068 volunteers in the improvement of parks throughout THPRD's service area. These volunteers have planted thousands of native trees and shrubs, removed tons of litter, and cleared acres of invasive plants.

SOLVE's CEO, Maureen Fisher, and Project Coordinator, Quintin Bauer, will be in attendance at the board of directors' August 10 meeting to recognize Melissa for her award.



Tualatin Hills Park & Recreation District Minutes of a Regular Meeting of the Board of Directors

A regular meeting of the Tualatin Hills Park & Recreation District Board of Directors was held on Monday, June 22, 2015, at the HMT Recreation Complex, Dryland Training Center, 15707 SW Walker Road, Beaverton. Executive Session 6 pm; Regular Meeting 7 pm.

Present:

John Griffiths	President/Director
Bob Scott	Secretary/Director
Jerry Jones Jr.	Secretary Pro-Tempore/Director
Joseph Blowers	Director
Larry Pelatt	Director
Doug Menke	General Manager

Agenda Item #1 – Executive Session (A) Land

President Griffiths called executive session to order to conduct deliberations with persons designated by the governing body to negotiate real property transactions. Executive session is held pursuant to ORS 192.660(2)(e), which allows the board to meet in executive session to discuss the aforementioned issue.

President Griffiths noted that representatives of the news media and designated staff may attend the executive session. All other members of the audience were asked to leave the room. Representatives of the news media were specifically directed not to disclose information discussed during executive session. No final action or final decision may be made in executive session. At the end of executive session, the board will return to open session and welcome the audience back into the room.

Agenda Item #2 – Call Regular Meeting to Order

President Griffiths called the regular meeting to order at 7:15 pm.

Agenda Item #3 – Action Resulting from Executive Session

Bob Scott moved that the board of directors, pursuant to a commitment of the 2008 Bond Measure, authorize staff to acquire a property in the southwest quadrant of the district for \$475,000 using bond measure funds designated for community park and community center land acquisition and system development charge funds, subject to standard due diligence review and approval by the general manager. Larry Pelatt seconded the motion.

Roll call proceeded as follows:

Jerry Jones Jr.	Yes
Joe Blowers	Abstain
Larry Pelatt	Yes
Bob Scott	Yes
John Griffiths	Yes

The motion PASSED by MAJORITY vote.

Bob Scott moved that the board of directors authorize staff to allow the expansion of existing easements as well as the granting of new permanent and temporary construction easements on five properties in the northwest quadrant of the district, and to further grant a permit of entry for a sixth property and to grant easements on this property after receiving payment of the appraised value of the easement areas. The authorization will be subject to an intergovernmental agreement and appropriate due diligence review and approval by the general manager. Larry Pelatt seconded the motion.

Roll call proceeded as follows:

Jerry Jones Jr.	Yes
Joe Blowers	Yes
Larry Pelatt	Yes
Bob Scott	Yes
John Griffiths	Yes

The motion was **UNANIMOUSLY APPROVED**.

Bob Scott moved that the board of directors authorize staff to allow new permanent easements in the southwest quadrant of the district, subject to appropriate due diligence review and approval by the general manager. Larry Pelatt seconded the motion. Roll call proceeded as follows:

Jerry Jones Jr.	Yes
Joe Blowers	Yes
Larry Pelatt	Yes
Bob Scott	Yes
John Griffiths	Yes

The motion was **UNANIMOUSLY APPROVED**.

Agenda Item #4 – Election of Officers for Fiscal Year 2015/16

President John Griffiths opened the floor to nominations for board officers for fiscal year 2015/16, taking effect on July 1, 2015.

Jerry Jones Jr. nominated Larry Pelatt to serve as president of the Tualatin Hills Park & Recreation District Board of Directors for fiscal year 2015/16. Bob Scott seconded the nomination. Hearing no further nominations, roll call proceeded as follows:

Larry Pelatt	Yes
Joe Blowers	Yes
Bob Scott	Yes
Jerry Jones Jr.	Yes
John Griffiths	Yes

The nomination to elect Larry Pelatt to serve as president for fiscal year 2015/16 was **UNANIMOUSLY APPROVED**.

Larry Pelatt nominated Jerry Jones Jr. to serve as secretary of the Tualatin Hills Park & Recreation District Board of Directors for fiscal year 2015/16. Joe Blowers seconded the nomination. Hearing no further nominations, roll call proceeded as follows:

Jerry Jones Jr.	Yes
Bob Scott	Yes
Larry Pelatt	Yes
Joe Blowers	Yes
John Griffiths	Yes

The nomination to elect Jerry Jones Jr. to serve as secretary for fiscal year 2015/16 was **UNANIMOUSLY APPROVED**.

Larry Pelatt nominated John Griffiths to serve as secretary pro-tempore of the Tualatin Hills Park & Recreation District Board of Directors for fiscal year 2015/16. Bob Scott seconded the nomination. Hearing no further nominations, roll call proceeded as follows:

John Griffiths	Yes
Joe Blowers	Yes
Jerry Jones Jr.	Yes
Bob Scott	Yes
Larry Pelatt	Yes

The nomination to elect John Griffiths to serve as secretary pro-tempore for fiscal year 2015/16 was **UNANIMOUSLY APPROVED**.

President John Griffiths recognized that this is board member Joe Blower's last board meeting and thanked him for his 12 years of service on the THPRD Board of Directors.

✓ Joe thanked the board and staff, noting that it has been a pleasure to work with them.

Agenda Item #5 - Budget Hearing: Resolution Adopting the Fiscal Year 2015/16 Budget, Levying Taxes and Making Appropriations

A. Open Hearing

President John Griffiths opened the Budget Hearing.

B. Staff Report

Keith Hobson, director of Business & Facilities, provided a brief overview of the memo included within the board of directors' information packet, noting that there are no adjustments to the approved budget being proposed by district staff this evening and that board approval is being requested of the resolution to adopt the FY 2015/16 budget, make appropriations, and levy ad valorem taxes.

C. Public Comment

There was no public comment.

D. Board Discussion

There was no board discussion.

E. Close Hearing

President John Griffiths closed the budget hearing.

F. Board Action

Joe Blowers moved that the board of directors approve Resolution 2015-11 to adopt the 2015/16 budget, make appropriations, and levy ad valorem taxes. Jerry Jones Jr. seconded the motion. Roll call proceeded as follows:

Larry Pelatt	Yes
Bob Scott	Yes
Jerry Jones Jr.	Yes
Joe Blowers	Yes
John Griffiths	Yes

The motion was **UNANIMOUSLY APPROVED**.

Agenda Item #6 – Audience Time

There was no testimony during audience time.

Agenda Item #7 – Board Time

Joe Blowers thanked the district for the opportunity to serve the community as a board member, noting that it has been a great education and a rewarding experience.

- ✓ Board members thanked Joe for his service on the board of directors.

General Manager Doug Menke recognized Jim McElhinny, director of Park & Recreation Services, who will be retiring at the end of the month after 35 years with the district, noting that Jim’s care for customer service regardless of patron or staff member has shaped the district.

- ✓ President Griffiths thanked Jim for his service to the district, noting that Jim is one of the most dedicated and hardworking staff members he has had the pleasure of working with.

Agenda Item #8 – Consent Agenda

Jerry Jones Jr. moved that the board of directors approve consent agenda items (A) Minutes of June 8, 2015 Regular Board Meeting, (B) Monthly Bills, (C) Resolution Authorizing Issuance of Tax and Revenue Anticipation Notes for FY 2015/16, and (D) ADA Accessibility Audit and Transition Plan Contract. Joe Blowers seconded the motion. Roll call proceeded as follows:

Bob Scott Yes
Larry Pelatt Yes
Joe Blowers Yes
Jerry Jones Jr. Yes
John Griffiths Yes

The motion was UNANIMOUSLY APPROVED.

Agenda Item #9 – Unfinished Business

A. Advisory Committee Structure Recommendation

General Manager Doug Menke introduced Bruce Barbarasch, superintendent of Natural Resources & Trails Management, to provide an overview of the memo included within the board of directors’ information packet regarding the current policy discussion relating to the district’s utilization of advisory committees, which was a recommendation made within the district’s Comprehensive Plan Update adopted in late 2013. The initial presentation to the board on this subject occurred at the November 3, 2014 regular meeting, with a secondary presentation on May 4, 2015.

Bruce provided an overview of the process thus far, noting that at the May board meeting, staff recommended that the district’s eight advisory committees be combined into three committees: Nature & Trails, Parks & Events, and Programs & Activities. Under this recommendation, the Stuhr Center Advisory Committee would transition to a friends group, which the committee supports, and senior programming would be folded into other areas. Based on the board’s feedback at the May meeting, the following changes to the previous recommendation are being proposed this evening:

- Combining events with programs to create a Programs & Events Committee
- Broadening the definition of the Parks Committee to specifically include indoor facilities
- Placing environmental education under two committees to ensure it is looked at from both content and service delivery angles
- Adding details about committee structure and member expectations

Bruce noted that board approval of the proposed advisory committee structure and timeline is being requested this evening and offered to answer any questions the board may have.

Larry Pelatt inquired how the committees would be dividing their focus on each individual topic area. Would it be based on the current needs of the district or split evenly on each specific area? Would the committees ever provide input on topics outside of their designated areas?

- ✓ Bruce replied that the committees would set their focus areas around the needs of the district, especially relating to the district's Comprehensive Plan and Strategic Plan, which should help guide their discussions. Each of the committees may be involved in reviewing a specific master plan, depending on the type of site. He explained that the hope is that each committee would be guided by their work plans and that the end result would come close to the anticipated feedback, rather than on a totally different topic. He noted that there is overlap between some of the committees and this is why an opening general session could be very helpful.

Jerry Jones Jr. stated that he is a proponent of citizen involvement and believes that this restructuring will bolster that involvement where committee members can become impactful and essentially serve as an extension of the board of directors. He likes the proposed structure that would include some overlap of topic areas, noting that the process should be elastic enough to adapt. He also supports the idea of a general session in order to provide an orientation for the new committees.

- ✓ Bruce commented that a majority of the committee members have expressed willingness to try this new method of involvement and that staff attempted to incorporate as much of their feedback into the proposal as possible.

President Griffiths opened the floor for public testimony.

Tom Hjort, 15715 SW Division, Beaverton, is before the board of directors as chair of the Trails Advisory Committee (TAC). Tom referenced a letter provided to the board of directors from the TAC, a copy of which was entered into the record, expressing that the TAC is unanimously opposed to the proposed advisory committee restructure. Although the TAC supports the increased involvement by the board of directors, it is opposed to being combined with the Natural Resources Advisory Committee (NRAC). The TAC feels that the topic area of trails is large enough to warrant a dedicated committee and sees little overlap between the areas of trails and natural resources. He described the lengthy meetings and large membership of the TAC and questioned whether there is enough time and capacity to add another significant focus area to the mix. Concern was also expressed about what would happen to the TAC's active transportation ex-officio members under this new structure. The TAC requests that no changes, other than increased board interaction, be made to their committee so that they may continue to serve the district at the highest capacity. To combine their functioning committee with another committee would only serve to dilute its effectiveness, thereby diminishing the overall effectiveness of the district's advisory committees.

Larry asked whether a friends group could be created specifically for the topic area of trails.

- ✓ General Manager Doug Menke replied that this was discussed as an option, but that the TAC was not interested.

Larry commented that the new Trails & Natural Resources Advisory Committee would still be able to focus on planning for trails and that the expanded scope of including natural resources with trails makes sense since so many of the district's trails traverse natural areas. He described some of the topics areas that the potential for cooperation between the two committees could be substantial, such as how trails affect natural areas, how to best traverse natural areas, how to design natural areas with a component for trails, etc. He agrees that the TAC and NRAC are two high-functioning committees and his hope is that this new structure will help bolster some of the other committees as well.

Joe Blowers commented that the TAC's mission is clearly focused on enabling the connections of trail segments and questioned whether it would be difficult for the combined committee to

prioritize its focus with an expanded purview. He asked who would be responsible for setting the agenda for each meeting.

- ✓ Doug replied that setting the work plan for each committee will be critical, along with the participation of the board and staff liaisons. Designing the work plan in order to enable meaningful work together will be important so that the agenda items do not become compartmentalized to the previous committees' specific topic areas.
- ✓ Bruce explained that some advisory committees work at a high level, while others are more detailed, and that the new structure is envisioned to be more in the middle of those two extremes. He provided examples of issues that the new Trails & Natural Resources Advisory Committee could discuss, such as beaver habitat impacting trail corridors. Lastly, he agreed that setting the work plan for each committee will be extremely important and noted that it is likely that facilitators will be brought in to help the committees adjust for the first few years until a good flow is realized.

Larry commented that he believes that the proposed restructuring effort is indicative of the district being open to change and trying to adjust a system that is not working very well overall. If this restructuring effort also does not work, the board would be open to change once again.

Bob Scott acknowledged that although there may be difficulty in combining two committees very passionate about their specific focus areas, the overlap of the TAC and NRAC is undeniable and he sees a clear benefit to the two groups working together. He agrees that a critical piece in the success of this proposal will be the board's involvement.

- ✓ Joe stated that although he, too, sees the benefit of the two committees working together, he is troubled by the potential for diluting the passion when combining them.
- ✓ Larry expressed doubt that the groups would lose their motivation just because the committee structure has changed.
- ✓ Jerry commented that passion creates focus and suggested that there is a way to retain specific focus areas via action teams or subcommittees. Committee members interested in specific topic areas could participate on an action team when the need for detailed input arises that requires more focus than the overall committee could provide.
- ✓ Doug expressed support for the concept of action teams, noting that there may be discussion items for these committees that are very targeted and that it would be great to have a subcommittee involved in a specific, temporary topic.

President Griffiths recalled that the initial purpose for a restructure of the advisory committees was to increase their overall performance. However, some committees are already high-performers, while others are not. He stated that he would support the creation of four committees in order to enable the TAC and NRAC to retain their own committees, as both of those committees are high-performers and that the committees could work together via joint meetings when the need for collaboration arises.

- ✓ Jerry inquired about the reaction of the NRAC to being combined with the TAC.
- ✓ Bruce replied that the NRAC is excited about working with the TAC. The Natural Resources Functional Plan sets a goal to connect people to nature and the primary ways of doing that are through environmental education, stewardship, and trails. There is great value to both committees' focuses, but staff feels that the most efficient way to accomplish it is together since there is so much overlap.
- ✓ Joe questioned whether having four working advisory committees would be manageable and whether it would encourage other committees to resist the proposed mergers.
- ✓ Bob commented that increasing the number of committees also increases the board involvement required, noting that the board is also involved in other committees, such as the Parks Bond Citizen Oversight Committee, Budget Committee, and Audit Committee.

- ✓ Larry expressed support for the recommendation of three advisory committees, noting that the board will not know whether the proposal can be successful without trying it. He noted that staff has put a lot of effort and outreach to the committees into formulating this recommendation and that a majority of the committee members support it.

President Griffiths expressed concern that there may be a tendency for individual committee members to dominate others in such large groups and agrees that in order for it to work there will need to be participation by facilitators and adequate training resources to get them through the process. He reiterated his statement that the restructuring effort seems to be based on addressing low-functioning committees and that he does not want to see the district lose its high-functioning committees in the process. He stated that he would entertain a motion.

Bob Scott moved that the board of directors approve the proposed advisory committee structure and timeline as presented. Larry Pelatt seconded the motion. Roll call proceeded as follows:

Jerry Jones Jr.	Yes
Joe Blowers	Yes
Bob Scott	Yes
Larry Pelatt	Yes
John Griffiths	Yes

The motion was UNANIMOUSLY APPROVED.

President Griffiths commented that although he has some reservations regarding the advisory committee restructure as he has already explained this evening, he feels that it is beneficial for the board to have a unanimous front on this subject.

Larry Pelatt agreed with previous comments that the only way this transition is going to be successful is through a very strong education, facilitation and training effort, as well as through the participation of the board liaisons.

Jerry Jones Jr. suggested that a general session be held that would include all existing members of each of the current advisory committees in order to hear and discuss the next steps in this process at the same time.

- ✓ Larry expressed support for this suggestion, noting that it would also be beneficial for the board members to attend in order to hear the same information and clearly display their desire to be involved in this process going forward.

Agenda Item #10 – Adjourn

There being no further business, the meeting was adjourned at 8:15 pm.

John Griffiths, President

Bob Scott, Secretary

Recording Secretary,
Jessica Collins

Check #	Check Date	Vendor Name	Check Amount
15600	06/12/2015	Community Newspapers, Inc.	1,590.00
287217	06/26/2015	Key Manufacturing And Rentals, Inc.	3,342.50
		Advertising	\$ 4,932.50
287038	06/15/2015	Lacey Construction	9,500.00
287040	06/15/2015	Paul Brothers, Inc.	3,951.72
287234	06/30/2015	City of Beaverton	2,727.90
		Capital Outlay - Bond - Facility Expansion & Improvements	\$ 16,179.62
286894	06/05/2015	Hal's Construction, Inc.	3,650.00
287039	06/15/2015	Pacific Fence & Wire Co.	5,876.00
287041	06/15/2015	Zell & Associates	1,200.00
		Capital Outlay - Bond - Land Acquisition	\$ 10,726.00
286886	06/05/2015	Adam Kuby, LLC	3,800.00
286897	06/05/2015	Kuznetsov Thinning Company	1,000.00
286899	06/05/2015	Native Ecosystems NW, LLC	4,156.25
		Capital Outlay - Bond - Natural Resources Projects	\$ 8,956.25
286892	06/05/2015	David Evans & Associates, Inc.	38,679.78
		Capital Outlay - Bond - New/Redeveloped Community Parks	\$ 38,679.78
287032	06/15/2015	2.ink Studio	27,230.00
287035	06/15/2015	ESA Vigil-Agrimis, Inc.	7,063.81
287130	06/23/2015	J.D. Walsh & Associates, PS	1,019.50
		Capital Outlay - Bond - New/Redeveloped Neighborhood Parks	\$ 35,313.31
286899	06/05/2015	Native Ecosystems NW, LLC	3,108.00
ACH	06/05/2015	MacKay Sposito, Inc.	7,477.03
287189	06/25/2015	Reutov Forest Services	3,350.00
287190	06/25/2015	Washington County	3,767.29
		Capital Outlay - Bond - Trails/Linear Parks	\$ 17,702.32
287180	06/25/2015	AKS Engineering & Forestry, LLC	13,886.75
		Capital Outlay - Bond - Youth Athletic Field Development	\$ 13,886.75
286889	06/05/2015	Cedar Mill Construction Company, LLC	15,778.00
286898	06/05/2015	Lovett, Inc.	19,872.17
286900	06/05/2015	Oregon Infrared	3,750.00
15502	06/12/2015	Christenson Electric, Inc.	1,196.28
15553	06/12/2015	Lovett, Inc.	6,550.95
287036	06/15/2015	Hunter-Davisson, Inc.	1,887.00
287182	06/25/2015	Beaverton Plumbing, Inc.	5,340.00
287188	06/25/2015	Koeber's, Inc.	3,710.84
		Capital Outlay - Building Replacements	\$ 58,085.24
287072	06/15/2015	Life Fitness	13,549.56
287131	06/23/2015	Pyramide USA, Inc.	2,966.50
		Capital Outlay - Carryover Projects	\$ 16,516.06
286944	06/05/2015	Cedar Landscape, Inc.	1,295.00
287162	06/25/2015	Eastside Paving, Inc.	2,580.00
		Capital Outlay - Facility Challenge Grants	\$ 3,875.00
287034	06/15/2015	99 West Trailers	5,847.02
		Capital Outlay - Fleet Capital Replacement	\$ 5,847.02
ACH	06/15/2015	Northwest Techrep, Inc.	4,068.25
287184	06/25/2015	Dell Marketing L.P.	1,904.56
		Capital Outlay - Information Technology Improvement	\$ 5,972.81

Check #	Check Date	Vendor Name	Check Amount
ACH	06/05/2015	Northwest Techrep, Inc.	2,904.80
		Capital Outlay - Information Technology Replacement	\$ 2,904.80
286861	06/01/2015	Clean Water Services	1,000.00
286888	06/05/2015	Cascadian Landscapers Inc.	2,150.00
287033	06/15/2015	3J Consulting, Inc.	4,733.50
287037	06/15/2015	Impact Sign Co.	3,100.00
287071	06/15/2015	Impact Sign Co.	5,424.00
287186	06/25/2015	Horizon Distributors, Inc.	1,545.00
287187	06/25/2015	Impact Sign Co.	4,165.00
287235	06/30/2015	City of Beaverton	3,255.68
		Capital Outlay - Park & Trail Replacements	\$ 25,373.18
287103	06/19/2015	Lawyers Title Insurance Corporation	10,000.00
287181	06/25/2015	Appraisal & Consulting Group, LLC	3,000.00
		Capital Outlay - SDC - Park Development/Improvement	\$ 13,000.00
286966	06/08/2015	Jerry Jones Jr	3,536.97
ACH	06/25/2015	Seth Reeser	1,794.47
		Conferences	\$ 5,331.44
286905	06/05/2015	PGE	29,999.27
287044	06/15/2015	PGE	1,524.01
287176	06/25/2015	PGE	1,867.08
287177	06/25/2015	PGE	29,076.75
		Electricity	\$ 62,467.11
287052	06/15/2015	Standard Insurance Company	181,848.39
		Employee Benefits	\$ 181,848.39
287051	06/15/2015	PacificSource Administrators, Inc.	9,197.00
287053	06/15/2015	Standard Insurance Company	32,228.58
287054	06/15/2015	Standard Insurance Company	2,668.32
287057	06/15/2015	Voya Retirement Insurance & Annuity Co.	7,375.00
287239	06/30/2015	PacificSource Administrators, Inc.	10,256.00
287240	06/30/2015	Standard Insurance Company	32,384.27
287242	06/30/2015	Standard Insurance Company	2,679.25
287244	06/30/2015	THPRD - Employee Assn.	14,999.47
287246	06/30/2015	Voya Retirement Insurance & Annuity Co.	7,375.00
		Employee Deductions	\$ 119,162.89
286904	06/05/2015	NW Natural	13,597.66
287175	06/25/2015	NW Natural	9,363.96
		Heat	\$ 22,961.62
286922	06/05/2015	National Softball Assoc of Oregon Umpire Assoc	3,346.50
286933	06/05/2015	Universal Whistles, LLC	3,795.00
287065	06/15/2015	Beaverton Volleyball Officials Association	5,060.00
287195	06/25/2015	National Softball Assoc of Oregon Umpire Assoc	4,049.75
		Instructional Services	\$ 16,251.25
287092	06/17/2015	Teresa A Horine	1,600.00
		Insurance	\$ 1,600.00
286895	06/05/2015	Hal's Construction, Inc.	1,850.00
286928	06/05/2015	Pacific Sports Turf, Inc.	1,200.00
286945	06/05/2015	Engineered Control Products, Inc.	2,688.95
15176	06/12/2015	Lovett, Inc.	2,410.91
15399	06/12/2015	Schulz-Clearwater Sanitation, Inc.	7,622.72
287066	06/15/2015	Engineered Control Products, Inc.	5,958.33
287068	06/15/2015	The Farley Group, Inc.	7,070.45
		Maintenance Services	\$ 28,801.36

Check #	Check Date	Vendor Name	Check Amount
ACH	06/05/2015	ORCA Pacific, Inc.	2,131.73
15001	06/12/2015	Coastwide Laboratories	2,239.16
15158	06/12/2015	Ewing Irrigation Products, Inc.	1,833.40
15228	06/12/2015	Target Specialty Products	1,049.88
15328	06/12/2015	Valley Athletics	1,815.00
15340	06/12/2015	Target Specialty Products	9,193.46
15367	06/12/2015	Coastwide Laboratories	3,248.78
15373	06/12/2015	Coastwide Laboratories	2,607.43
15624	06/12/2015	Coastwide Laboratories	3,940.82
15687	06/12/2015	Airgas Nor Pac, Inc.	10,498.61
287165	06/25/2015	Fazio Brothers Sand & Gravel	4,178.50
		Maintenance Supplies	\$ 42,736.77
286935	06/05/2015	1-800-BoardUp	2,076.56
		Miscellaneous Other Services	\$ 2,076.56
286936	06/05/2015	A & E Imaging	1,412.00
14987	06/12/2015	OfficeMax Incorporated	2,026.34
15026	06/12/2015	GISI Marketing Group	2,838.00
		Office Supplies	\$ 6,276.34
15068	06/12/2015	Ogletree, Deakins Attorney	8,664.00
15507	06/12/2015	Command Prompt, Inc.	10,000.00
287193	06/25/2015	Mark Sherman Consultants	1,435.00
ACH	06/25/2015	Beery, Elsnor & Hammond, LLP	3,996.57
ACH	06/25/2015	Smith Dawson & Andrews	3,000.00
		Professional Services	\$ 27,095.57
286866	06/01/2015	High Roller USA/Big Wheel Rally	1,499.96
286926	06/05/2015	Oregon Department of Administrative Service OPS	1,180.56
286942	06/05/2015	Capital One Commercial	2,355.76
15868	06/12/2015	Reconyx, Inc.	1,385.54
287058	06/15/2015	NSA Oregon	2,192.00
287059	06/15/2015	Pepsi-Cola Company	1,679.40
287062	06/15/2015	U.G. Cash & Carry	4,529.78
287064	06/15/2015	Beaverton School District #48	1,388.25
287168	06/25/2015	High Roller USA/Big Wheel Rally	1,499.96
287171	06/25/2015	KD Kanopy, Inc.	1,874.00
287198	06/25/2015	Pro Sound & Lighting, Inc.	3,448.42
287202	06/25/2015	U.G. Cash & Carry	3,621.56
		Program Supplies	\$ 26,655.19
14988	06/12/2015	Ricoh Americas Corporation	3,159.59
287203	06/25/2015	Western Bus Sales, Inc.	4,800.00
		Rental Equipment	\$ 7,959.59
286938	06/05/2015	Alta Planning & Design, Inc.	4,763.35
287155	06/25/2015	Alta Planning & Design, Inc.	12,736.90
287163	06/25/2015	Edwards Enterprises	1,944.80
287189	06/25/2015	Reutov Forest Services	1,875.00
		Technical Services	\$ 21,320.05
ACH	06/25/2015	Kylie Bayer-Fertterer	1,296.11
		Technical Training	\$ 1,296.11
287174	06/25/2015	Integra Telecom	4,443.01
		Telecommunications	\$ 4,443.01
287200	06/25/2015	THP Foundation	1,687.09
		THPF Reimbursed Concessions/Sales	\$ 1,687.09

<u>Check #</u>	<u>Check Date</u>	<u>Vendor Name</u>	<u>Check Amount</u>
ACH	06/05/2015	Marc Nelson Oil Products, Inc.	3,216.10
287201	06/25/2015	Tualatin Valley Water District	7,828.53
ACH	06/25/2015	Marc Nelson Oil Products, Inc.	3,146.28
		Vehicle Gas & Oil	\$ 14,190.91
286906	06/05/2015	Tualatin Valley Water District	9,305.69
287047	06/15/2015	Tualatin Valley Water District	1,689.98
287178	06/25/2015	Tualatin Valley Water District	2,868.10
		Water & Sewer	\$ 13,863.77
Report Total:			\$ 885,975.66



Tualatin Hills Park & Recreation District

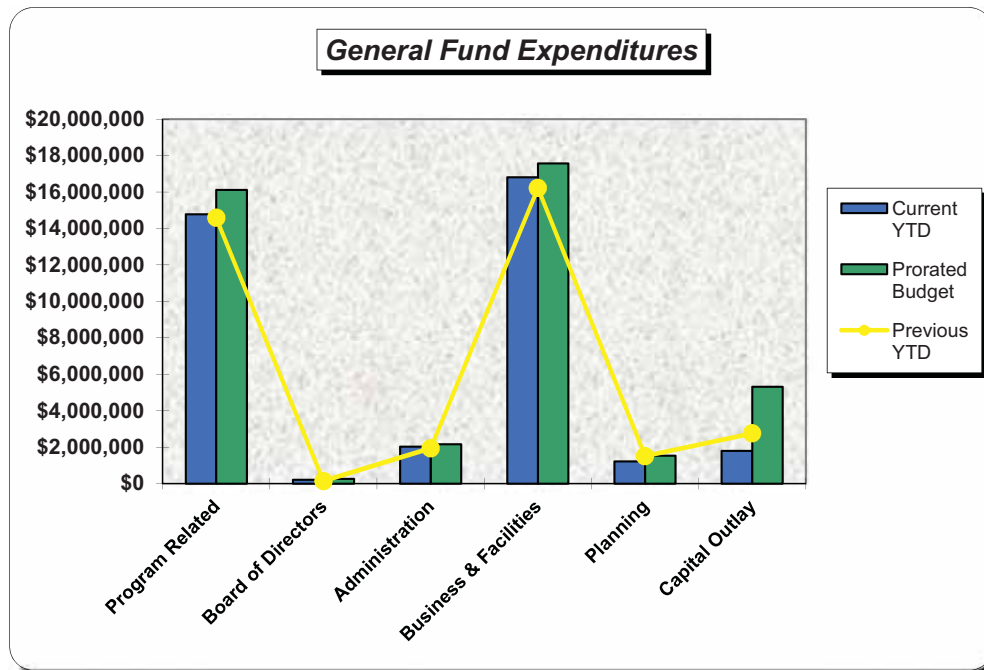
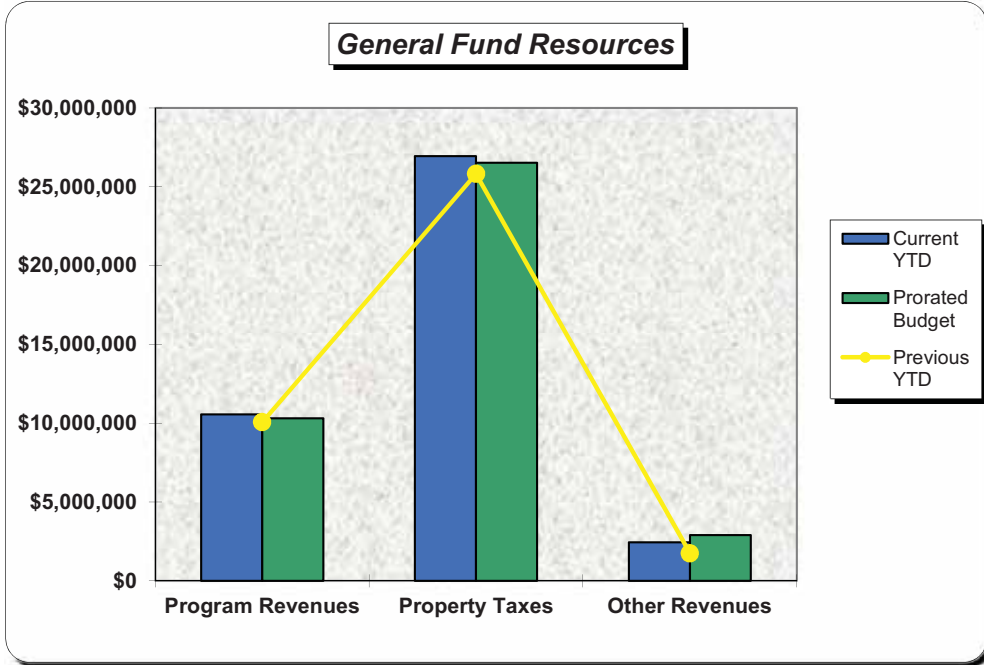
General Fund Financial Summary Preliminary Report for June, 2015

	<i>Current Month</i>	<i>Year to Date</i>	<i>Prorated Budget</i>	<i>% YTD to Prorated Budget</i>	<i>Full Fiscal Year Budget</i>
Program Resources:					
Aquatic Centers	\$ 260,932	\$ 2,812,151	\$ 2,755,784	102.0%	\$ 2,755,784
Tennis Center	37,764	980,495	1,034,170	94.8%	1,034,170
Recreation Centers & Programs	401,703	4,950,756	4,988,370	99.2%	4,988,370
Sports Programs & Field Rentals	218,401	1,424,678	1,219,146	116.9%	1,219,146
Natural Resources	34,892	395,682	318,668	124.2%	318,668
Total Program Resources	953,692	10,563,762	10,316,138	102.4%	10,316,138
Other Resources:					
Property Taxes	149,843	26,951,070	26,535,005	101.6%	26,535,005
Interest Income	55,046	115,731	135,000	85.7%	135,000
Facility Rentals/Sponsorships	47,425	616,929	462,000	133.5%	462,000
Grants & Contributions	8,000	1,002,694	1,351,957	74.2%	1,351,957
Miscellaneous Income	55,179	706,668	960,783	73.6%	960,783
Total Other Resources	315,493	29,393,092	29,444,745	99.8%	29,444,745
Total Resources	\$ 1,269,185	\$ 39,956,854	\$ 39,760,883	100.5%	\$ 39,760,883
Program Related Expenditures:					
Parks & Recreation Administration	49,379	601,862	759,647	79.2%	759,647
Aquatic Centers	302,282	3,729,136	4,099,609	91.0%	4,099,609
Tennis Center	87,197	1,045,698	1,043,082	100.3%	1,043,082
Recreation Centers	398,111	4,599,080	4,925,270	93.4%	4,925,270
Programs & Special Activities	120,880	1,524,757	1,698,668	89.8%	1,698,668
Athletic Center & Sports Programs	151,450	1,645,887	1,789,516	92.0%	1,789,516
Natural Resources & Trails	165,980	1,625,776	1,794,939	90.6%	1,794,939
Total Program Related Expenditures	1,275,279	14,772,196	16,110,731	91.7%	16,110,731
General Government Expenditures:					
Board of Directors	55,930	206,847	261,119	79.2%	261,119
Administration	167,960	2,019,778	2,161,629	93.4%	2,161,629
Business & Facilities	1,331,254	16,816,674	17,571,260	95.7%	17,571,260
Planning	107,463	1,220,766	1,523,286	80.1%	1,523,286
Capital Outlay	182,215	1,794,180	5,310,718	33.8%	5,310,718
Contingency	-	-	-	0.0%	2,100,000
Total Other Expenditures:	1,844,822	22,058,245	26,828,012	82.2%	28,928,012
Total Expenditures	\$ 3,120,101	\$ 36,830,441	\$ 42,938,743	85.8%	\$ 45,038,743
Revenues over (under) Expenditures	\$ (1,850,916)	\$ 3,126,413	\$ (3,177,860)	-98.4%	\$ (5,277,860)
Beginning Cash on Hand		\$ 6,445,779	5,277,860	122.1%	5,277,860
Ending Cash on Hand		\$ 9,572,192	\$ 2,100,000	455.8%	\$ -

Tualatin Hills Park and Recreation District

General Fund Financial Summary

June, 2015





MEMO

DATE: July 31, 2015
TO: Doug Menke, General Manager
FROM: Aisha Panas, Director of Park & Recreation Services
 Jeannine Rustad, Superintendent of Planning

RE: **Resolution Acknowledging Recent Property Acquisitions and Describing Funding Source(s) and Purpose**

Introduction

The board of directors always approves of an acquisition at a public meeting prior to its closing, but to retain confidentiality until the acquisition is completed, does not disclose details about it at the time of approval. To increase public knowledge and establish a record of the details and purpose of each completed acquisition, in 2011, the board began a practice of approving a resolution acknowledging completed acquisitions for the previous fiscal year. This memo seeks to gain board approval of a resolution providing the details and purpose of acquisitions made during between July 1, 2014 and June 30, 2015, the end of FY 2014/15.

Background

Nine fee simple acquisitions, one joint tenancy and one easement acquisition were completed as of the date of this memo. It should be noted that not all "closed" acquisitions are "completed" acquisitions. In some cases, a property may have been acquired, but an additional property needs to be acquired to have a site that will function as intended. If a property closing was part of an acquisition effort that has not been completed, and publicizing the closing may jeopardize the confidentiality of an ongoing acquisition negotiation, it is not listed within the proposed resolution.

Proposal Request

Staff is seeking the board's approval of the attached resolution.

Benefits of Proposal

The benefit of this proposal is that by approving the resolution, confusion about when, how and why a property was acquired and how it should be used in the future can be avoided by establishing a clear, board-acknowledged record of the acquisition.

Potential Downside of Proposal

There is no potential downside to this proposal.

Action Requested

Board of directors' approval of Resolution No. 2015-13, Acknowledging Recent Property Acquisitions and Describing Funding Source(s) and Purpose.

RESOLUTION NO. 2015-13

**A RESOLUTION OF THE BOARD OF DIRECTIONS OF THE
TUALATIN HILLS PARK & RECREATION DISTRICT
ACKNOWLEDGING RECENT PROEPRTY ACQUISITIONS AND
DESCRIBING FUNDING SOURCE(ES) AND PURPOSE**

WHEREAS, the Tualatin Hills Park & Recreation District (THPRD) has recently completed several property acquisitions for a variety of purposes using multiple funding sources; and

WHEREAS, a completed acquisition is hereby defined as one where all properties needed to create a functional site have been acquired or are likely to be acquired; and

WHEREAS, the board of directors always approves of an acquisition at a public meeting prior to its closing but to retain confidentiality until the acquisition is completed, does not disclose details about it at the time of approval; and

WHEREAS, to increase public knowledge and establish a record of the details and purpose of each completed acquisition, the board of directors deems that it should be their practice to regularly disclose such information through approval of a resolution; and

WEHREAS, Exhibit A to this resolution lists acquisitions completed between July 1, 2014 and June 30, 2015 and Exhibit B maps the locations of those acquisitions.

LET IT HEREBY BE RESOLVED BY THE BOARD OF DIRECTORS OF THE TUALATIN HILLS PARK & RECREATION DISTRICT IN BEAVERTON, OREGON, that:

Exhibits A and B to this resolution shall be made available to interested members of the public including THPRD Advisory Committees, the Beaverton City Council, the Washington County Board of Commissioners, Washington County Citizen Participation Organizations within THPRD boundaries, Beaverton Neighborhood Advisory Committees and the Washington County office of the Oregon State University Extension Service.

Approved by the Tualatin Hills Park & Recreation District board of directors on the 10th day of August 2015.

Larry Pelatt, President

Jerry Jones Jr., Secretary

ATTEST:

Jessica Collins, Recording Secretary

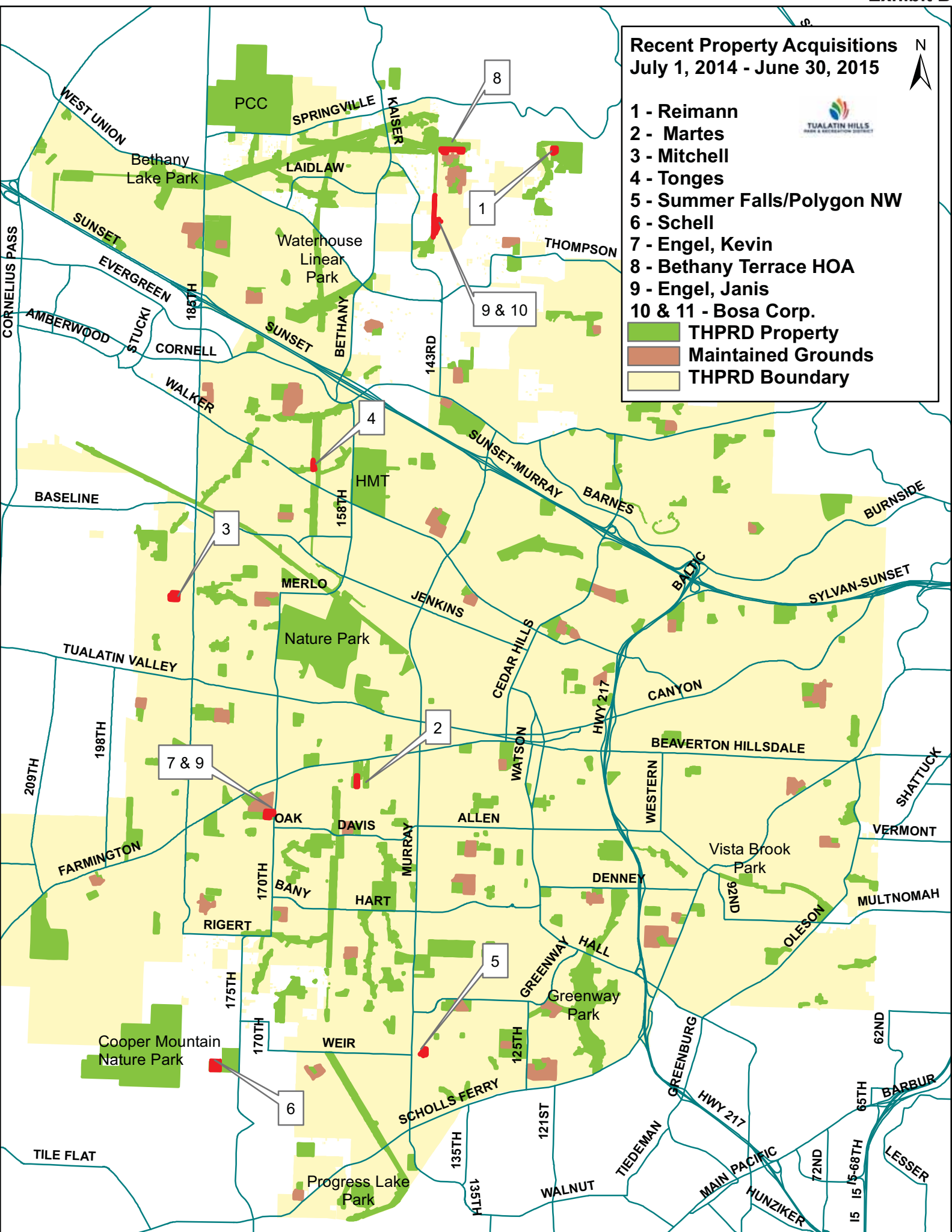
Completed THPRD Land Acquisitions July 1, 2014 to June 30, 2015										
Map #	Previous Owner(s) Last Name(s)	Location	Total Size (acres)	Acquisition Date	Property Cost ¹	Property Interest Acquired	Tax Lot(s)	Purpose	Map Classification	Funding Source
1	Reimann	Adjacent to 27+ acre natural area adjacent to Bannister Creek in the NE quad.	0.89	7/1/2014	\$36,878.00	Fee Simple	1N122BB 00400	Future Natural Area	Natural Area	Bond
2	Martes	Adjacent to Lilly K. Johnson Natural Area near SW Farmington Rd. and SW 153rd	0.94	7/31/2014	\$296,360.94	Fee Simple	1S117CA00200	Future Natural Area	Natural Area	Bond with Metro Nature in the Neighborhood grant reimbursement
3	Mitchell	SW 187th and Bonnie Meadows	2.5	12/31/2014	\$683,204.49	Fee Simple	1S212AA02601, 1S212AA02600, 1S212AA02700	Future Neighborhood Park	Park	Bond
4	Tonges	Landlocked property at the intersection of Waterhouse Linear Park and Schlottman Creek Greenway	0.63	7/9/2014	\$14,360.00	Fee Simple	1N131DD00901	Trail corridor - Waterhouse Trail	Trail	Bond Trail Acquisition
5	Summer Falls/ Polygon NW	SW Murray Blvd & SW Weir	1.18	8/7/2014	\$329,240.00	Fee Simple	1S128CC14400	NH Park	Park	SDC & Beaverton contribution
6	Schell	Natural Area adjacent to Winkelman Park	5	2/27/2015	\$435,000.00	Joint Tenancy with Metro	1S131BA01000	Future Natural Area	Natural Area	Bond supplemented by Metro Nature in the Neighborhoods Target Area Funding
7	Engel 1 (Kevin)	Adjacent to Southwest Quadrant Community Park along SW 170th Ave.	0.89	12/5/2014	\$509,000.00	Fee Simple	1S118DC00102	Expansion of Southwest Quadrant Community Park	Park	Bond

Map #	Previous Owner(s) Last Name(s)	Location	Total Size (acres)	Acquisition Date	Property Cost ¹	Property Interest Acquired	Tax Lot(s)	Purpose	Map Classification	Funding Source
8	Bethany Terrace HOA	South side of the Rock Creek Trail, east of the Westside Trail	1.97	4/2/2015	Donation	Easement	1N121BB10400, 1N121BB06400	Trail alignment to provide outdoor classroom space along the Rock Creek Greenway Trail	Trail	Donation of an easement
9	Engel 2 (Janis)	Adjacent to Southwest Quadrant Community Park along SW 170th Ave.	1.25	6/26/2015	\$475,000.00	Fee Simple	1S118DC00119	Expansion of Southwest Quadrant Community Park	Park	Bond & SDC
10	Bosa Corporation	Bethany (east of the BPA ROW, south of Rainier Terrace)	1.29	6/10/2015	Donation	Fee Simple	1N121CC05200	Trail corridor - Westside Trail	Trail	Donation
11	Bosa Corporation	Bethany (west of the BPA ROW, south of Laidlaw Road)	0.19	6/10/2015	Donation	Fee Simple	1N1210001300	Trail corridor - Westside Trail	Trail	Donation

Recent Property Acquisitions July 1, 2014 - June 30, 2015



- 1 - Reimann
 - 2 - Martes
 - 3 - Mitchell
 - 4 - Tonges
 - 5 - Summer Falls/Polygon NW
 - 6 - Schell
 - 7 - Engel, Kevin
 - 8 - Bethany Terrace HOA
 - 9 - Engel, Janis
 - 10 & 11 - Bosa Corp.
- THPRD Property
 - Maintained Grounds
 - THPRD Boundary





MEMO

DATE: July 21, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities

RE: **Veterans Memorial Park Agreements**

Introduction

Staff is seeking board of directors' approval of two related agreements for Veterans Memorial Park. The first agreement is an intergovernmental agreement with the City of Beaverton, the owner of the site, leasing the site to the district for the maintenance and management of the site. The second agreement is a three-party agreement with the American Legion Post 124 and the Beaverton Veterans Memorial Management Corporation delegating the responsibility for managing, maintaining and scheduling events to Post 124 and the Corporation.

Background

Veterans Memorial Park is owned by the City of Beaverton (City), but is managed by the Tualatin Hills Park & Recreation District (THPRD). THPRD also works cooperatively with the Beaverton Chapter of the American Legion Post 124 (Post 124) to display and maintain all monuments and to manage all commemorative public events at the park.

By all accounts, Veterans Memorial Park has been a memorial park since its inception in the 1950s. THPRD entered into a property lease agreement with the City in 1961 to manage the park, with options to renew the agreement. This agreement has expired and THPRD has been working with the City to negotiate the new successor agreement.

Post 124 has historically been responsible for the development of monuments within the park, and has conducted memorial events using these monuments. Post 124 created a separate non-profit corporation, the Beaverton Veterans Memorial Management Corporation (Corporation), to assume responsibility for maintenance of the monuments. THPRD has been working with Post 124 and the Corporation, to develop agreements clarifying each party's roles and responsibilities with respect to the park site, the monuments thereon, and memorial events at the site.

In May 2013, the board approved the Veterans Memorial Park Master Plan as a tool to guide future development of monuments within the site. This master plan, which is referenced in both agreements, will remain as the guiding document for development of future monuments or other enhancements to the site.

Proposal Request

Staff is seeking board of directors' approval of the following agreements (attached):

- Intergovernmental Agreement between the City of Beaverton and Tualatin Hills Park & Recreation District regarding Veterans Memorial Park, and

- Agreement between the Tualatin Hills Park & Recreation District, American Legion Post #124, and Beaverton Veterans Memorial Management Corporation for Veterans Memorial Park.

The proposed agreement with the City leases the site to THPRD for a period of 20 years with the option to extend the lease for an additional 20 years. It transfers control of the site, including responsibility for maintaining the park and the monuments, and developing new monuments, to THPRD. It also transfers control over scheduling events at the site to THPRD.

The proposed agreement with Post 124 and the Corporation transfers responsibility for the maintenance of the monuments from THPRD to the Corporation. It also transfers responsibility for developing new monuments, within the approved master plan, to the Corporation. Finally the agreement assigns the responsibility for coordinating events to the Corporation and Post 124, with the understanding that THPRD will continue to provide maintenance support for two events per year.

The agreements have been reviewed by THPRD's legal counsel.

Benefits of Proposal

Board approval of the proposed agreements will renew the lease of Veterans Memorial Park from the City and will provide clear structure regarding the roles and responsibilities of each party for maintaining the park and the monuments, and for development of new monuments within the site.

While it was originally anticipated that this would be accomplished through one multi-party agreement between the City, THPRD, Post 124, and the Corporation, it was ultimately decided that it was simpler to negotiate two separate agreements.

Potential Downside of Proposal

Since the agreements document existing understanding and practice, there is no apparent downside to the proposal.

Maintenance Impact

There is no apparent maintenance impact from this proposal. THPRD already maintains the park site and provides support for two memorial events each year. Costs for maintenance/repairs of monuments would be the responsibility of Post 124 and the Corporation.

Action Requested

Board of directors' approval of the following items:

1. Intergovernmental Agreement between the City of Beaverton and Tualatin Hills Park & Recreation District regarding Veterans Memorial Park;
2. Agreement between the Tualatin Hills Park & Recreation District, American Legion Post #124, and Beaverton Veterans Memorial Management Corporation for Veterans Memorial Park; and,
3. Authorization for the general manager or his designee to execute the final agreements.

**INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF BEAVERTON
AND TUALATIN HILLS PARK & RECREATION DISTRICT REGARDING
VETERANS MEMORIAL PARK**

THIS INTERGOVERNMENTAL AGREEMENT ("Agreement") is entered into as of _____, 2015, by and between the City of Beaverton, an Oregon municipal corporation ("City") and the Tualatin Hills Park & Recreation District, an Oregon park and recreation district organized and existing pursuant to ORS Chapter 266 ("District");

WHEREAS, City is the owner of certain real property hereinafter described, which property is presently being used as a park; and

WHEREAS, District desires to lease said real property for the purpose of using and maintaining the same as a public park; and

WHEREAS, it is to the best interests of both parties that said park area be managed and maintained by the District; and

WHEREAS ORS 190.010 authorizes the parties to enter into this Agreement for the performance of any or all functions and activities that a party to the Agreement has authority to perform.

NOW, THEREFORE, the parties agree as follows:

1) In consideration of the sum of One Dollar (\$1.00) paid to the City by the District, receipt of which is hereby acknowledged by the City, the City hereby leases the District, for a period of twenty (20) years from date hereof, the following described real property ("Premises") located in the City of Beaverton, County of Washington, State of Oregon, to-wit:

Block 35, Hocken's Second Addition to Beaverton

for use as a public park dedicated to veterans of the armed forces of the United States of America. The park is and shall remain named Veterans Memorial Park. The use or name of the park may not change without City's written approval. City warrants that as of the date of this agreement the Premises may be used as a public park pursuant to City's development code and all other relevant laws and regulations.

2) District may make changes and modifications in and on the Premises as may be necessary or suitable to meet the needs of the community from time to time. Any such improvements must comply with the City's development code and all other applicable laws and regulations. Any such improvements made by the District shall be at the cost and expense of the District and upon the termination of this lease all such improvements shall revert to and become the property of the City. District may enlist American Legion Post #124 and/or Beaverton Veterans Memorial Management Corporation to make changes and modifications consistent with the District's Master Plan for the Premises (attached hereto as Exhibit 1) and Beaverton Design Review Compliance Letter DR2013-0060 dated July 23, 2013 (attached hereto as Exhibit 2).

3) The District is solely responsible for the programming and/or coordination of events on the Premises. District may enlist American Legion Post #124 and/or Beaverton Veterans Memorial Management Corporation to program or coordinate events. City bears no responsibility for programming or coordinating events on the Premises.

4) The District has complete control of the Premises and shall undertake and assume the legal responsibility and expense of the management, maintenance and supervision of the Premises and the equipment and facilities located thereon, including the cost of all utilities serving the Premises. To the extent City bears any responsibility to maintain monuments installed on the Premises and to the fullest extent allowed by law, the City delegates that maintenance duty to the District, who may enlist American Legion Post #124 and/or Beaverton Veterans Memorial Management Corporation to assist in managing, maintaining and supervising the monuments.

5) Subject to the limitations of the Oregon Constitution and the Oregon Tort Claims Act, the District will indemnify, defend and hold the City, its officers, officials, employees and agents harmless against any and all liability for personal injury or damage to life or property arising out of or relating to the use of the Premises; provided, however, that the District is not required to indemnify, defend or hold the City or its officers, officials, employees and agents harmless for any such liability arising out of or relating to the acts or omissions of the City or its officers, officials, employees and agents.

6) The District may renew this lease for an additional period of twenty (20) years by giving notice in writing not less than six (6) months prior to the expiration of this lease, subject to the City's right, within thirty (30) days after receiving notice of exercise of this option, to give written notice to the District of the City's objection to said twenty (20) year renewal of the term. In this instance the District will have the option either of terminating this lease or continuing the lease for an additional five (5) year period, and District shall notify the City accordingly within thirty (30) days of its receipt of City's objection. The parties may, by written agreement signed by each party, terminate all or a part of this Agreement based upon a determination that such action is in the public interest. Termination under this section is effective as provided in such termination agreement.

7) If City believes District has materially breached this Agreement, the City must give District written notice of the alleged material breach. Within ninety (90) days of its receipt of City's notice, District may cure the alleged breach. If the material breach persists after ninety (90) days, City may enter into and upon the Premises, repossess the Premises and expel the District from the Premises.

8) Each party shall comply with all applicable federal, state and local laws, rules and regulations on non-discrimination in employment because of race, color, ancestry, national origin, religion, sex, marital status, age, medical condition or handicap.

9) This Agreement shall be construed in accordance with and governed by the laws of the State of Oregon. If any provision of this Agreement or application thereof to any person or circumstances shall to any extent be invalid, the remainder of this Agreement

shall not be affected and each provision of this Agreement shall be valid and enforced to the fullest extent permitted by law.

10) This Agreement may be executed in counterpart originals; all such counterparts constitute one Agreement. Signature pages may be detached from the counterpart originals and attached to a single copy of this Agreement to physically form one document.

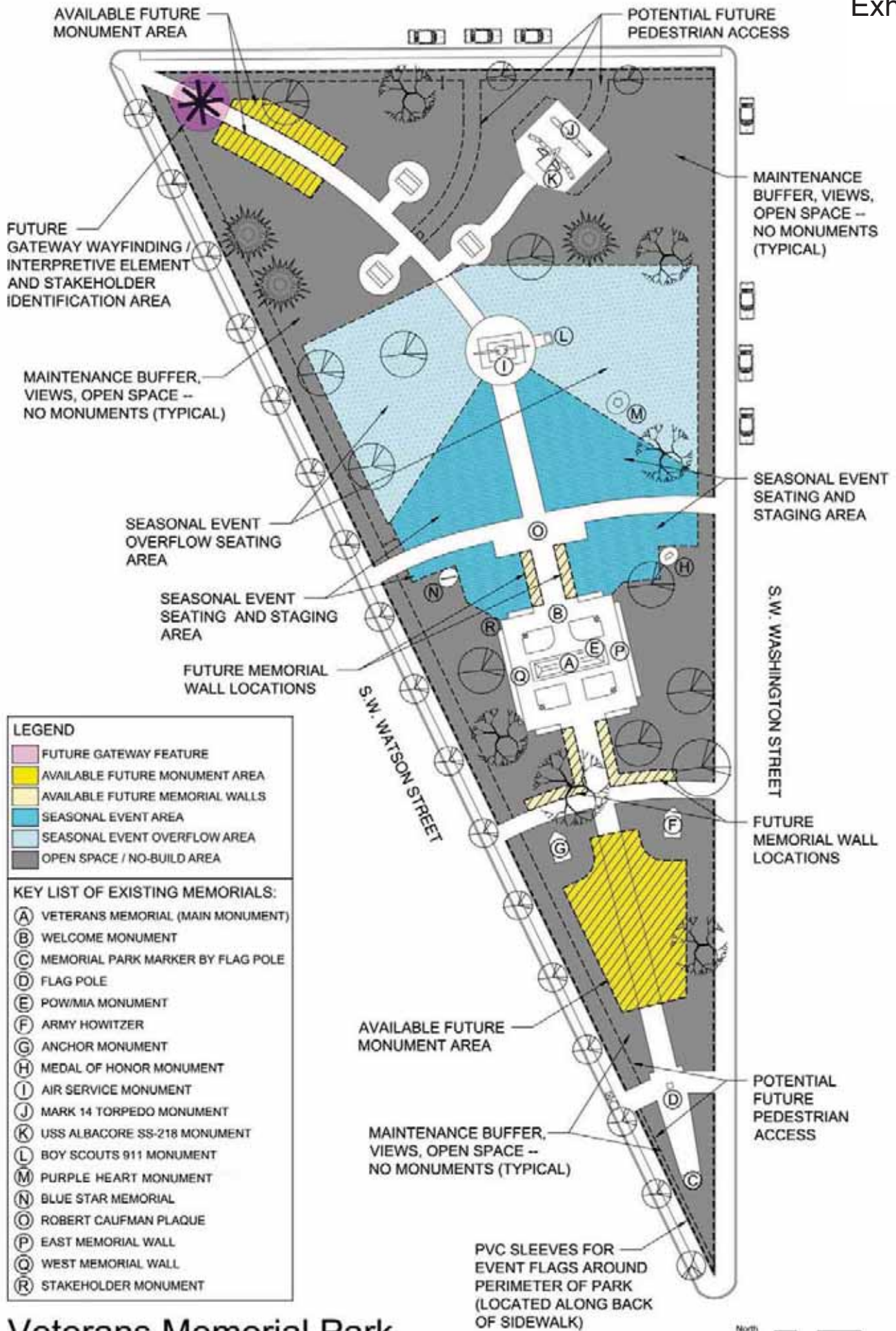
IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by their duly appointed officers, authorized to bind the party for which they sign.

CITY OF BEAVERTON

**TUALATIN HILLS PARK AND RECREATION
DISTRICT**

Denny Doyle, Mayor

Doug Menke, General Manager



Veterans Memorial Park MASTER PLAN

Updated 4/3/13





CITY OF BEAVERTON
 Community and Economic Development
 Planning Division
 4755 SW Griffith Drive /PO Box 4755
 Beaverton, OR 97076
 General Information- (503) 526-2222 V/TDD
 www.BeavertonOregon.gov

DATE: July 23, 2013
FILE: DR2013-0060 – Veterans Memorial Park
LOCATION: 1S116DA03400
 Bounded by SW Washington, SW Watson, & SW 7th

PROJECT DESCRIPTION:

The Tualatin Hills Park & Recreation District is proposing a Master Plan for orderly future development of Veterans Memorial Park. The approximately 1 acre park is owned by the City of Beaverton, but is operated and maintained by THPRD through an expired property agreement, which is in the process of being renewed. The proposed Master Plan identifies areas for potential future development, including areas available for monuments, memorial walls, pedestrian access, and seasonal event seating and staging. No site development or other modifications are proposed by this Master Plan. Any modifications or changes to the site not included in this proposal are subject to additional design review approvals.

Tualatin Hills Park and Recreation District
 Attn: Matt Kilmartin
 6220 SW 112th
 Beaverton, OR 97008

Dear Mr. Kilmartin,

Staff has reviewed the above referenced application and finds that the proposal meets the threshold(s) for a Design Review Compliance Letter. Further, by meeting the conditions of approval marked on the attached document, the proposal will meet the approval criteria associated with this application. Please review these conditions of approval.

There is a standard twelve (12) day appeal period following this approval. Attached to this letter is an appeal waiver form. Should the waiver form not be completed, this approval shall not be valid until the appeal period has ended and no appeal has been received.

Sincerely,

City of Beaverton
 Development Services
 Planning Staff

Reviewed by: Steve Regner, Planning Technician

Conditions of approval: Attached
 Not Attached

Date approval delivered July 23, 2013 Hand Delivery **Mail** Fax **E-Mail**

DR2013-0060 – Veterans Memorial Park

CONDITIONS OF APPROVAL

1. Future development will not require additional Planning Division Design Review, provided the development falls within the scope of approved Master Plan. (Planning Division/SR)
2. All site modifications shall be carried out in accordance with the site plan on file at City Hall, as approved by the Director. (Planning Division/SR)
3. If necessary, prior to construction, the applicant must obtain a Building Permit through the City of Beaverton Building Division. Please contact Lance Richardson, at (503) 526-2593 for further information. (Planning Division/SR)
4. If necessary, prior to site grading or path construction, the applicant must obtain a grading permit through the City of Beaverton Site Development Division. Please contact Wendy Prather, at (503) 526-2593 for further information. (Planning Division/SR)

**AGREEMENT BETWEEN THE TUALATIN HILLS PARK & RECREATION DISTRICT,
AMERICAN LEGION POST #124, AND
BEAVERTON VETERANS MEMORIAL MANAGEMENT CORPORATION
FOR VETERANS MEMORIAL PARK**

THIS AGREEMENT ("Agreement") is entered into as of _____, 2015, by and between the Tualatin Hills Park & Recreation District, an Oregon park and recreation district organized and existing pursuant to ORS Chapter 266 ("District"), the American Legion Post #124, a Domestic Nonprofit Corporation, ("Post"), and the Beaverton Veterans Memorial Management Corporation, a Domestic Nonprofit Corporation, ("Corporation");

WHEREAS, District is the lessee of the Veterans Memorial Park under a lease with the City of Beaverton, and has an approved Master Plan for current and future memorials on the site; and

WHEREAS, District, Post and Corporation desire to assign responsibility for planning, establishing, maintaining and managing the memorials to Corporation.

NOW, THEREFORE, the parties agree as follows:

- 1) District will maintain the Veterans Memorial Park grounds with the exception of maintaining the monuments within the site. The monuments, current and future planned, are described in exhibit A. The District has no ownership interest in the monuments.
- 2) District will lease the park from the City of Beaverton via an intergovernmental agreement, and District will be responsible for curing any defaults under the terms of that agreement. If District determines a default cannot be cured, District will notify Corporation and Post as soon as is reasonably practicable after making the determination.
- 3) Corporation, with assistance and under the guidance of its Post, will at its sole cost plan and contingent upon District approval of the plan, establish, complete and maintain all monuments and promote the Memorial Complex in accordance with the Master Plan, exhibit A.
- 4) Corporation, with assistance and under the guidance of its Post, will manage the fiscal and physical aspects of the completion and operation of the overall memorial projects. All projects shall comply with THPRD safety standards including a site safety plan.
- 5) Corporation and Post will adhere to all relevant federal, state and local laws and complete required documents in respect to Veterans Memorial Park reporting, filing and recording.
- 6) Corporation, with the assistance and under the guidance of its Post, will manage and schedule all Park events requested by any person or organization, jointly and with the District's concurrence. Approval of requests by any person or organization meeting the standards of THPRD, will not be unreasonably withheld and no party to

this agreement will make a unilateral decision with respect to a third-party's request to use the Park. District will provide maintenance support for two events per year (typically Memorial Day and Veterans Day, but actual events to be confirmed annually), and support for any additional events will be by mutual agreement.

Reasonable standards include:

- a. Maintenance impacts upon the Park.
 - b. Scheduling conflicts and availability.
 - c. Political affiliations.
 - d. Appropriate use of the facility.
- 7) The District will insure all present and future monuments against accidental damage and be responsible for any and all insurance deductible associated with such insurance policies.
 - 8) Subject to the limitations of the Oregon Constitution and the Oregon Tort Claims Act, the District and Corporation will mutually indemnify, defend and hold each other's officers, officials, employees and agents harmless against any and all liability for personal injury or damage to life or property arising out of or relating to the use of the Premises; provided, however, that each party is not required to indemnify, defend or hold the other party or its officers, officials, employees and agents harmless for any such liability arising out of or relating to the wrongful acts or omissions of the party or its officers, officials, employees and agents.
 - 9) Each party shall comply with all applicable federal, state and local laws; and rules and regulations on non-discrimination in employment based on race, color, ancestry, national origin, religion, sex, marital status, age, medical condition or handicap.
 - 10) This Agreement shall be construed in accordance with and governed by the laws of the State of Oregon. If any provision of this Agreement or application thereof to any person or circumstances shall to any extent be invalid, the remainder of this Agreement shall not be affected and each provision of this Agreement shall be valid and enforced to the fullest extent permitted by law.
 - 11) This Agreement is effective as long as the District's intergovernmental agreement with the City of Beaverton for the lease of the site remains in effect.
 - 12) This Agreement may be executed in counterpart originals and all such counterparts shall constitute one Agreement. Signature pages may be detached from the counterpart originals and attached to a single copy of this Agreement to physically form one document.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by their duly appointed officers, authorized to bind the party for which they sign.

Tualatin Hills Park & Recreation District

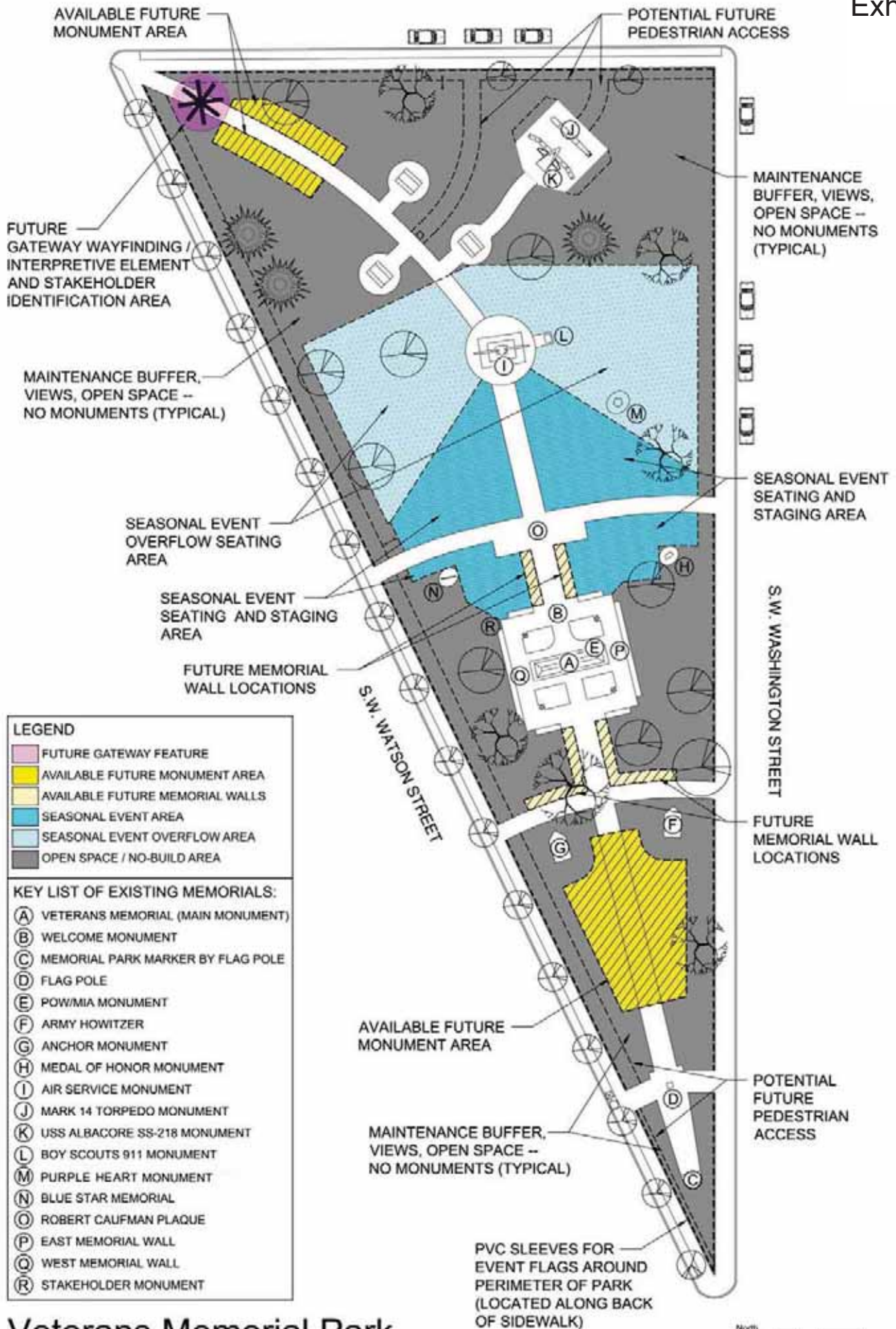
Doug Menke, General Manager

American Legion Post #124

Steve Gerber, Commander

Beaverton Veterans Memorial Management Corporation

Fred Meyer, General Manager



Veterans Memorial Park MASTER PLAN

Updated 4/3/13





MEMO

DATE: July 21, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities

RE: **Cedar Hills Recreation Center Seismic Upgrade Project**

Introduction

Staff is seeking board of directors' approval to award to the lowest responsible bid the contract for the construction of the Cedar Hills Recreation Center Seismic Upgrade project.

Background

The project was advertised for bid on June 23, 2015. The construction estimate, as determined by an independent consultant, was \$358,000. The bid opening was held on July 16, 2015 and the district received a total of six bids. The lowest responsible bid came from Nomarco Inc., with a base bid of \$385,000. Staff have reviewed their bid and determined they have submitted a responsive and qualified bid. This bid is over the estimated cost, but this can be attributed to permit requirements that were not known at the time the estimate was completed.

The project budget is \$644,826. Based on the current estimated total project cost of \$520,720, the project is estimated to be under budget by \$124,106. A breakdown of the project costs is provided below.

Budget Information

Budget Item	Current Project Cost
Project Budget	\$644,826
Construction contract	\$385,000 <i>(lowest responsible bid)</i>
Contingency 7.5%	\$28,875
Soft costs	\$106,845
Estimated total project cost	\$520,720
Project budget variance (over) under	\$124,106

All permit documents have been submitted to the City of Beaverton. Staff expects the permits to be issued in mid-August, before the September 1 start of construction. The construction is scheduled for completion by mid-December 2015.

Proposal Request

Staff are seeking board of directors' approval to award the contract based on the lowest responsible bid of the project.

Benefits of Proposal

Approval of the request will provide a significant upgrade to patron and staff egress safety during a seismic event. Damage to building components will be reduced by the addition of

seismic joints between major building elements. Long-term maintenance issues with the gym arch beams will be eliminated. The boiler flue will be replaced as part of the brick chimney removal. In addition, various door headers will be reinforced along with the covered play area roof, and the foundation will be braced as required.

Potential Downside of Proposal

A partial shutdown of the facility during construction is the only downside of this project.

Action Requested

Board of directors' approval of the following items:

1. Award the contract for Cedar Hills Recreation Center seismic upgrade project to Nomarco Inc. in the amount of \$385,000; and
2. Authorize the general manager or his designee to execute the contract.

**Tualatin Hills Park & Recreation District
PROJECT AWARD RECOMMENDATION REPORT**

Project:	Cedar Hills Recreation Center Seismic Upgrade Project		
Contractor:	Nomarco Inc.		
Contractor worked for THPRD previously: No			
Contractor references checked: Yes			
Contractor registered with appropriate boards: Yes			
SCOPE OF WORK			
Location:	Cedar Hills Recreation Center		
Description:	Gym beam repairs, seismic joints, play roof reinforcement door header reinforcement, chimney removal and new flue, foundation bracing		
FUNDING			
Current total project budget: bond capital projects report		\$644,826	
Estimated project cost: (expenditures, lowest contractor bid and district project purchases)		\$520,720	
Project budget variance: (over) under		\$124,106	

BID RESULTS

Low to High Bid	Contractor	Base Bid Amount	Completed Bid Forms
1	Nomarco Inc.	385,000	Yes
2	Par-Tech Construction Inc.	390,673	Yes
3	TS Grey Construction Inc.	393,113	Yes
4	Cedar Mill Construction Co.	397,000	Yes

PROJECT SCHEDULE

Invitation to bidders - ad in DJC	June 23, 2015
Mandatory pre-bid conference	July 7
Sealed bids due and bid closing time	July 16
Bid opening	July 16
Final bid review /draft board memo	July 21
THPRD board meeting to approve lowest responsible bid	August 10
Notice of intent to award - start contracts	August 11
Notice to proceed (approx.)	September 1
Preconstruction site meeting (approx.)	TBD – mid-August
Construction start	September 1
Desired project duration	4 months



MEMO

DATE: July 31, 2015
TO: The Board of Directors
FROM: Doug Menke, General Manager

RE: Resolution Appointing Parks Bond Citizen Oversight Committee Member

Introduction

Staff requests board of directors' appointment of one Parks Bond Citizen Oversight Committee member.

Background

Currently there is one open position on the district's Parks Bond Citizen Oversight Committee due to the resignation of Jeannine Rustad, who has taken employment with the district as the superintendent of Planning. Since the board went through an application and appointment process for the oversight committee so recently (April), the board agreed to reconsider the appointment of the runner-up on the scoring matrix to fill Jeannine's position: Nancy Wells (application attached).

The resolution establishing the committee designates the membership size to be no less than seven and no more than 12 members. Please find attached a current committee roster.

Proposal Request

Staff requests board appointment of Nancy Wells to the Parks Bond Citizen Oversight Committee for the remainder of the term for the vacated position, which expires April 2017.

Action Requested

Board of directors' approval of Resolution 2015-14 Appointing Parks Bond Citizen Oversight Committee Member.

**RESOLUTION 2015-14
TUALATIN HILLS PARK & RECREATION DISTRICT, OREGON**

**A RESOLUTION APPOINTING
PARKS BOND CITIZEN OVERSIGHT COMMITTEE MEMBER**

WHEREAS, the Tualatin Hills Park & Recreation District Board of Directors must appoint committee members by resolution; and

WHEREAS, this committee member shall be appointed by the Board for a term to fulfill the remainder of the vacant position's term (April 2017); and

WHEREAS, the selected committee member has demonstrated her interest and knowledge in the committee's area of responsibility. Now, therefore

THE TUALATIN HILLS PARK & RECREATION DISTRICT RESOLVES AS FOLLOWS:

The Board of Directors approves the appointment of Nancy Wells to the Parks Bond Citizen Oversight Committee.

Duly passed by the Board of Directors of the Tualatin Hills Park & Recreation District this 10th day of August 2015.

Larry Pelatt, Board President

Jerry Jones Jr., Board Secretary

ATTEST:

Jessica Collins, Recording Secretary



Tualatin Hills Park & Recreation District
Parks Bond Citizen Oversight Committee Application

Name: NANCY WELLS Date: 2/23/2015

Please note you must reside within the Park District's boundaries to serve on the Committee.

1. Please explain your interest in serving on the Parks Bond Citizen Oversight Committee:

Avid to enjoyer of THPRD parks and very supportive of mission.

2. How long have you lived in the community?

I have lived here since 2006 with a temporary work related relocation for 2 years from mid 2012 to mid 2014.

3. Have you served on other volunteer committees? Yes [] No []

If yes, please explain where, when, and what your responsibilities were:

worked on the
ing neighborhoods
ittle of CPOI
al years

I am a board member of several professional organizations including the Willamette Valley ISACA chapter. I have intensely involved in Cedar Mill PTC and was a soccer for several years. Involved in Cub Scouts also.

4. If employed, what is your occupation?

Not currently employed but my profession is auditing, I am certified CISA and CRISC

5. Please describe any work experience or areas of expertise that you feel would benefit the Parks Bond Citizen Oversight Committee:

Auditing, extensive volunteering helping clean up trails
Project Management and ~~see~~ scope control. Budget on PTC and in work functions

Please return application by February 23, 2015 to:

Mail: Attn: Jessica Collins, Executive Assistant
Tualatin Hills Park & Recreation District
15707 SW Walker Road, Beaverton, OR 97006
Fax: 503-629-6303
Email: jcollins@thprd.org



Tualatin Hills Park & Recreation District Parks Bond Citizen Oversight Committee

Updated: July 31, 2015

<i>Committee Member</i>	<i>Term Expires</i>
Frank Angelo	April 2017
Wink Brooks	April 2016
Rob Drake, Chair	April 2017
Boyd Leonard	April 2017
Kahler Martinson	April 2016
Rob Massar	April 2017
Matthew McKean	April 2017
Anthony Mills	April 2016
Kevin O'Donnell	April 2016
Stephen Pearson	April 2016
Jack Platten	April 2016
Jeannine Rustad	April 2017
<i>Ex-Officio Member</i>	<i>Term Expires</i>
Bob Scott Board of Directors	N/A
Keith Hobson Director of Business & Facilities	N/A
Aisha Panas Director of Park & Recreation Services	N/A



MEMO

DATE: July 27, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities
 Aisha Panas, Director of Park & Recreation Services

RE: Bond Program Update

Introduction

The information and discussion in this memo adds to that which has been provided to the board at previous meetings relating to the implementation of the bond program.

Capital Projects Construction Update

At the August board meeting, you will receive a PowerPoint presentation on the continuing and upcoming projects as part of the bond program update agenda item. Staff is focusing on three major projects in particular: SW Quadrant Community Park, Cedar Hills Park and Somerset West Park. Staff is working closely with the consultants on all three projects to try and align the project cost estimates with the project budget, and to identify additional project funding sources where needed.

At the May 28, 2015 bond oversight committee meeting, staff led a discussion with the committee members about how to handle estimated funding shortfalls for a few of the remaining projects. One of the options discussed was the concept that if a project did not have adequate funding, or the costs of the project substantially outweighed the potential benefits of the project, then that project would not be advanced any further and would not be completed per the original bond measure project list. The committee members were clear that this was not a feasible option. They believe strongly that phasing some of the project amenities to be provided at a later date, identifying additional funding sources, or scaling a project back to some degree would still fulfill the bond measure intent of completing the project.

A brief summary of the projects and their status is provided below.

Project Name	Status
Southwest Quadrant Community Park	Staff has continued to coordinate planning efforts with local agencies. The land use process through Washington County is complete. Based on the bond oversight committee's discussion regarding funding shortfalls for projects, staff is looking at ways to revise some project amenities, or phase them in at a later date as more funding becomes available. Staff is also working closely with our agency partners to look for additional partnership opportunities.

Cedar Hills Park	<p>Staff continues to work with our agency partners to discuss the traffic implications and community concerns for the redevelopment of the park and William Walker Elementary School. The consultant has completed a revised traffic study and staff has met with staff from the Beaverton School District, Washington County, and the City of Beaverton to review and discuss the implications of that study. Staff will be looking at ways to revise some project amenities, or phase them in at a later date as more funding becomes available. Staff is also working closely with our agency partners to look for additional partnership opportunities.</p>
Somerset West Park	<p>The master planning process for Somerset West Park has been on hold since August of 2014. Initial cost estimates for the project came in substantially higher than the established project budget. Since that time, staff has worked with the consultants to evaluate the original park design to reduce the overall project costs. Again, staff is looking at ways to revise some project amenities, or phase them in at a later date as more funding becomes available.</p>
Westside to Waterhouse Trail Connection	<p>The land use process has been completed. Construction for the project is scheduled to begin in the spring of 2016.</p> <p>The current project budget estimate shows the project is under budget by approximately \$515,000.</p>
SE Quadrant Athletic Field	<p>Staff is working closely with Beaverton School District to capitalize on a partnership opportunity for a synthetic turf field in the southeast quadrant of the district. A neighborhood meeting was held, and the community expressed some concerns about the project. Staff and the consultant are working with the city and school district on project design modifications to address some of the community concerns.</p> <p>A second neighborhood meeting to review the design modifications will be held in August. Construction for the project is tentatively scheduled for June 2016 after the coming school year concludes.</p> <p>The current project cost estimate shows the project meeting the total project budget.</p>



MEMO

DATE: July 27, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities

RE: Trails Functional Plan

Introduction

The Trails Functional Plan (TFP) provides a vision and set of tools to help staff prioritize and measure the success of trail planning, development and maintenance in the district. Staff will present highlights of the plan and seek board input. Board approval of the attached document will be requested at the October 5, 2015 meeting.

Background

The district's first Trails Master Plan, adopted in 1998, provided a guide for future decisions and activities about how the district would acquire, develop, operate and maintain trails over a 20-year period. A subsequent update to this plan occurred in 2006 to recognize accomplishments and identify future needs based on changing district demographics and trends in providing a trail system that connects the community that THPRD serves. The Comprehensive Plan Update, adopted in 2013, also provided an assessment of the trail system and recommendations for improvements.

With the 2013 Comprehensive Plan Update, there was a directive for staff to create functional plans to guide their work. In total, five functional plans will be developed in the areas of athletic facilities, natural resources, parks, programs and trails. All functional plans except the trails and athletic facilities plans have been completed and adopted. In the summer of 2014, an interdepartmental committee was formed to create and develop the TFP. The Trails Advisory Committee has been working on the TFP since the summer of 2014. The plan also received review from other district advisory committees, two community open houses and agency peer review. The plan was available online at the district's website for public review and comment.

As part of the development of the TFP, a consultant was engaged to update the trail system map and provide additional expertise in trail planning. The TFP is a guide to help the district achieve a well-connected trail system for the area that the district serves, as well as connecting to neighboring jurisdictions and to the larger Portland metropolitan area as a whole. It establishes guidance for trail acquisition, prioritization criteria for trail development, expectations for trail design and maintenance, and ways of monitoring progress.

The plan also serves as a tool to help stakeholders, including district staff, understand how and why trail planning, development and maintenance decisions are made.

Proposal Request

The TFP contains sections on the following topics:

1. Existing Conditions / Where We Are: Refines the trail classification system and establishes new design standards for the various trail types. Mid-block crossing options are discussed as well as the many potential trail partners that are needed to help make a successful trail system. The trails are listed with segment descriptions, and new urbanized area trails are also included.
2. Achieving Success / What We Want To Be: This section establishes trail standards based on classification (regional, community, neighborhood) as well as a number of design standards and guidelines covering a variety of topics, such as accessibility, utilities, surfacing, amenities (site furnishings, bollards, signage, etc.), bridges and boardwalks, and safety and security. Additional guidance for maintenance and operations of trail facilities is also provided in this section of the plan.
3. Implementation & Development Strategy / How We Get There: Establishes criteria that will be used to prioritize trail enhancement and development, as well as land acquisition for new trail corridors. Recognizes that many of the remaining trail segments are located along creek corridors or in natural areas, and, therefore, have been labeled as areas that need additional study to determine the trail location. Funding sources for trail design and development are also discussed in this section.
4. Success Monitoring / How Are We Doing: Identifies traditional and operational performance measures with short-term and long-term monitoring procedures.

Benefits of Proposal

The proposal will provide guidance for staff, clarify trail planning and development decisions and priorities for stakeholders, and will provide supporting information to be used when writing grant proposals.

Potential Downside of Proposal

There are no potential downsides to the proposal.

Action Requested

No formal action is requested. Staff is seeking board of directors' review and input of the Trails Functional Plan. Board approval of the final document will be requested at the October 5, 2015 regular board meeting.

Tualatin Hills Park & Recreation District Trails Functional Plan

August 2015

Board of Directors

John Griffiths, Secretary Pro-Tempore

Jerry Jones Jr., Secretary

Ali Kavarianian, Director

Larry Pelatt, President

Bob Scott, Director

THPRD Management Oversight

Doug Menke, General Manager

Keith Hobson, Director of Business & Facilities

Aisha Panas, Director of Park & Recreation Services

THPRD Project Team

Bruce Barbarasch, Superintendent of Natural Resources & Trails Management

Tim Bonnin, Senior Park Planner

Mike Fontenot, Park Maintenance Coordinator

Steve Gulgren, Superintendent of Design & Development

Brad Hauschild, Urban Planner

Mark Hokkanen, Risk & Contract Manager

Mike Janin, Superintendent of Security Operations

Gery Keck, Facilities & Project Manager

Nicole Paulsen, Design & Development Coordinator

Jeannine Rustad, Superintendent of Planning

Keith Watson, Park Maintenance Supervisor

Plan Reviewers

THPRD Advisory Committees (Parks, Natural Resources, Trails)

Metro Trails and Greenspaces Staff

Washington County Land Use & Transportation Staff

City of Beaverton Transportation Planning Staff

Consultant

Katie Mangle, Alta Planning + Design

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1. Executive Summary

The purpose of the Trails Functional Plan (TFP) is to support implementation of the Tualatin Hills Park & Recreation District's (THPRD) 2013 Comprehensive Plan Update. This plan sets forth THPRD's approach to providing, developing and maintaining trails for its patrons. This TFP outlines how the district acquires land for trails and prioritizes new trail development and existing substandard trail enhancement.

This plan replaces the 2006 Trails Master Plan. It updates the district's existing trails inventory and makes new recommendations for the trail framework. The TFP will help THPRD maintain overall level of service (LOS), improve walkable access to trails, establish criteria for how land is acquired for trails and establish prioritization criteria for trail development and enhancement.

This plan consists of four primary sections:

- Existing Conditions
- Achieving Success
- Implementation & Development
- Success Monitoring

1.1 Existing Conditions / Where We Are

This section of the TFP includes refinement to the district's trail classification system that further clarifies the intent of regional, community and neighborhood trails as well as other types of facilities (e.g., shared use pathways, sidewalks, etc.). It also establishes new design standards for regional (12 feet wide), community (10 feet wide) and neighborhood (6-8 feet wide) trails. Guidance is also provided on administering trail counts and provides locational criteria for counter placement as well as describing the types of mid-block crossing options available, and their design elements.

The TFP identifies a number of trail planning partners the district should actively engage with to further its trail system. This includes agencies such as the Oregon Parks & Recreation Department, the Oregon Department of Transportation, Metro, Washington County, the City of Beaverton and those cities neighboring the district's service area. The plan also identifies utility agencies, such as the Bonneville Power Administration, Portland General Electric and Clean Water Services, as being partners in trail design and development.

A major component of this section of the plan is the identification of the district's trail system and the individual segments that make up each individual trail. A number of tables highlight those segments completed and those segments remaining to be constructed. Additional tables

highlight new trails that need to be planned for, especially in new urbanizing areas of the district like South Cooper Mountain and Bonny Slope West.

1.2 Achieving Success / What We Want To Be

The TFP establishes trail standards for the district's trail classifications (regional, community, neighborhood) as well as standards for trails occurring in unique situations (trails adjacent to roadways, trails combined with sidewalks, trails in greenways). This plan also includes a number of design standards and guidelines covering a variety of topics such as accessibility, utilities, surfacing, amenities (site furnishings, bollards, signage, etc.), bridges and boardwalks and safety and security. Additionally, guidance is provided for maintenance and operation of trail facilities.

1.3 Implementation & Development / How We Get There

The TFP identifies criteria that will be used to prioritize trail enhancement and development. These include, but are not limited to: level of community support, project location in an underserved area and whether or not it overcomes barriers. As projects arise, they will be scored and placed in Tier I (high) or Tier II (medium) priority categories. These criteria will also be used for determining site suitability for land acquisition of new trail corridors.

In addition to the criteria identified in this plan, future trails to be located along creek corridors or other natural areas, such as the Beaverton Creek, Bronson Creek and Willow Creek Trails, will also be evaluated using site development suitability criteria identified in the district's Natural Resources Functional Plan (NRFP). These trails are identified as future study areas on the updated trail system map, incorporated within this TFP.

A number of funding sources are identified for trail development and enhancement projects, such as capital funds, system development charges (SDCs), grants, partnerships and general obligation bonds. Not all funding sources can be used for all types of trail improvements.

1.4 Success Monitoring / How Are We Doing?

The TFP identifies a number of performance measures for trails, which are typically monitored annually and include, but are not limited to: miles of new trails completed, miles of existing trails enhanced and number of trail users counted. Trail user profiles, and access to target populations will be monitored to help ensure equitable access to trails throughout the district's service area.

2. Introduction

The district's 1998 Trails Master Plan was updated in 2006. This update recommended improvements to the existing trail system; completion of missing gaps; and connections to significant environmental features, schools, parks and recreation, public facilities, transit, local neighborhoods and business centers throughout the region. The Trails Master Plan also listed eight goals:

- Providing recreation opportunities
- Trail development and regional connections
- Access
- Community linkages
- Amenities
- Maintenance and emergency access
- Preservation
- Funding

This TFP replaces the 2006 Trails Master Plan. It updates the district's trails inventory and incorporates the eight goals. This TFP also identifies new recommendations for the district's trail framework. While this TFP replaces the 2006 Trails Master Plan, which replaced the 1998 Trails Master Plan, it builds upon the progress made since these previous plans were adopted and sets a vision for future success.

The purpose of the TFP is to outline how THPRD:

- Acquires land for trails
- Prioritizes new trail development
- Upgrades existing substandard trails

The following goal identified in the 2013 Comprehensive Plan Update relates to providing, developing and maintaining trails for its patrons:

- Goal 5 – *“Develop and maintain a core system of regional trails, complemented by an interconnected system of community and neighborhood trails, to provide a variety of recreational opportunities such as walking, biking and jogging.”*

An outcome of THPRD's Comprehensive Plan Update process and the 2013 Comprehensive Plan Update was a call for a review of the standards and guidelines used to ensure residents are provided with quality facilities, such as trails, parks and natural areas. This review included land acquisition procedures for trails, development or enhancement of trails and maintenance and operation of trails.

THPRD Trails Functional Plan

This plan will help the district:

- Maintain overall level of service (LOS) to the residents it serves
- Improve walkable access to trails and other district facilities
- Establish update criteria for how land is acquired for trails
- Establish prioritization criteria for new trail development and enhancement of existing substandard trails

3. Existing Conditions / Where We Are

THPRD first adopted a trails master plan in 1998. In 2006, that plan was updated (as part of the comprehensive plan update) and identified a number of goals for trails; established a trail classification system; created standards for trails, land acquisition and maintenance; and provided strategies for achieving success. The 2006 Comprehensive Plan was updated in 2013, refining district goals and rethinking strategies on goal implementation, including the establishment of this TFP. This section of the TFP takes a look at where the district sits today and its progression since the 2006 update.

3.1 General Description / Overview

3.1.1 Bond Survey Results

As part of the district's 2008 bond initiative, a survey was conducted to determine what facilities are most important to residents. Development of new trails and completing gaps in the existing trail system were at the top of the list. Surveys completed in 2012, 2014 and 2015 as part of the 2013 Comprehensive Plan Update, Parks Functional Plan (PFP) and this TFP also confirmed that trails and access to trails rate high in importance to district residents.

3.1.2 Trail Descriptions and Classifications

The following trail descriptions are intended to provide a broader overview of the types of trails and linkages that can be found within THPRD's service area. Trails within the service area are varied and occur in many different types of environments and situations. This includes trails that are more urban, occupying roadways, sidewalks, other rights of way and trails that may switch from a designated paved, multiuse trail onto a shared sidewalk/trail, to weave through the surrounding urban infrastructure. Some trails may be more natural or remote or follow utility corridors or greenways.

3.1.2.a Regional Trail

A regional trail is defined by its length, multi-jurisdictional alignment and connection to regionally significant features. Regional trails connect residents within the district to adjacent communities like Hillsboro, Tigard, Portland, unincorporated Washington County and the greater Portland metropolitan region. These trails also connect to regionally significant features such as the Tualatin Hills Nature Park, the Jenkins Estate and the Howard M. Terpenning Recreation Complex. In addition to providing recreational opportunities, regional trails often serve as transportation corridors because of the regional connections they make to transit, civic places, employment and commercial centers, and residential neighborhoods. Typical characteristics of regional trails include:

THPRD Trails Functional Plan

- Accommodating two-way non-motorized bicycle and pedestrian traffic, typically being 12 feet wide
- Being located in its own right of way separated from roads and streets
- Being paved with gravel shoulders
- Accommodating smaller maintenance and emergency vehicles when possible

3.1.2.b Community Trail

Community trails link important destinations between neighborhoods and across the district to parks, natural areas, schools, trails, transit and shopping centers. They function as both recreation and transportation corridors for a variety of users. Typical characteristics of community trails include:

- Accommodating two-way non-motorized bicycle and pedestrian traffic, typically being 10 feet wide
- Being located in its own right of way separated from roads and streets
- Being paved with gravel shoulders
- Potentially being designed to function as a regional trail when high trail use is anticipated
- Accommodating smaller maintenance and emergency/security vehicles when possible

3.1.2.c Neighborhood Trail

Please note that the 2006 Trails Master Plan identified both urban and neighborhood natural trails in its trail classifications. With this TFP, natural neighborhood trails have been re-classified as soft “surface pathways.” These types of trails are primarily site specific to parks or natural areas and do not extend beyond these areas. Information on design considerations for these types of pathways can be found in the district’s PFP and the NRFP. With this TFP, urban neighborhood trails have been re-classified as neighborhood trails and are described below.

Neighborhood trails provide short distance connections to local features such as parks, natural areas, community centers, schools and other neighborhood attractions. Where they provide a direct connection, neighborhood trails will generally have their own right of way, separated from the street system. In other cases, they may consist of on-street segments with patrons using existing sidewalks for pedestrians and bike lanes or residential streets for bicyclists. These trails are often walking and hiking trails from regional or community trails and public right of ways, but many may also be located within parks or natural areas. Typical characteristics of neighborhood trails include:

- Not always accommodating two-way non-motorized bicycle and pedestrian traffic, typically being 6-8 feet wide
- Being located on- or off-street, with or without its own right of way and separated from roads or streets
- Being paved or unpaved, usually without gravel shoulders

THPRD Trails Functional Plan

- Not always being fully accessible because neighborhood trails can include staircases or be located on steep slopes due to site topography

3.1.2.d Additional Definitions

- *Trail*: a designated land corridor that provides a marked route with little interruption in travel
- *Shared Use*: shared by pedestrians (including dog walkers), bicyclists, skaters, joggers and other non-motorized users.
- *Unpaved/Natural Surface*: a surface consisting of gravel, crushed rock, soil, or other semi-pervious material
- *Sidewalk*: a paved walkway along the side of a roadway separated from the roadway by a raised curb and/or planter strip; located within the public right of way
- *Bike lane*: a portion of the roadway, usually an arterial or collector, that has been designated by striping, signing and pavement markings for the preferential or exclusive use of bicyclists; located within the public right of way

3.1.3 Trail Counters

THPRD manages a trail user count program that relies on passive infrared counters at fixed locations, collecting hourly usage. The information is collected monthly for analysis in daily, weekly, monthly and annual reports. Based on district staff calibration, the trail counters are highly accurate. Several counters can be found along the same trail to determine heavier use areas. Also, multiple counters along the same trail can help to track changes over time, such as a before and after the addition of a new trail segment, installation of a mid-block crossing, or providing new directional signage. It should be noted that increases or decreases in trail use can vary depending on a whole host of variables, including weather and time of year.

3.1.3.a Trail Counts

The district uses a number of trail counters along many of its regional and community trails. Trail counters are also used along pathways or nature trails internal to park sites and natural areas. As described previously, the purpose of using trail counters is to gauge trail usage and track trail user trends. At the time of this TFP adoption, trail counters are located at the following regional and community trail locations (see Appendix 7.3 for counts collected from 2010-2015). Information collected does show a trend for increasing trail use each year, especially on those trails where gaps have been completed, such as on the Fanno Creek Trail and Westside Trail.

- Fanno Creek Regional Trail at Scholls Ferry Road
- Fanno Creek Regional Trail at Hall Boulevard
- Fanno Creek Regional Trail at 92nd Avenue
- Rock Creek Regional Trail
- Waterhouse Trail (North) at Walker Road
- Waterhouse Trail (South) at Walker Road

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- Westside Regional Trail at Murrayhill
- Westside Regional Trail at Village Lane

3.1.3.b Trail Counter Location Criteria

As new trails are planned and completed, the location of trail counters is important to ensure appropriate trail usage data is collected. Locations selected for long- and short-duration data collection should focus primarily on those trail sections most representative of prevailing user patterns (not necessarily at landmarks or other areas that might skew data collection).

For fixed counters, which are what the district uses, the following considerations should be kept in mind:

- Locate on straight, level sections of trail, not on curves or on/near a steep grade
- Locate on smooth pavement or other compacted surface
- Locate at potential improvement areas, such as mid-block crossings, gaps, pinch points and locations that are operationally difficult for bicyclists and pedestrians to navigate, to gauge impacts of future improvements
- Avoid locating near water or in direct sunlight
- Avoid placement that directly faces roadways unless a vertical barrier exists
- Avoid locating near high-power utility lines that could disrupt or distort the detection capability

The Natural Resources & Trail Management department is responsible for locating trail counters and collecting trail count data. Prior to installation, coordination with the appropriate district staff is needed to determine a precise trail counter location.

3.1.4 Trail Planning Partners

The district is primarily concerned with the off-street trails network. On-street connections between trails, parks, natural areas, schools, transit and other community destinations are the primary responsibility of the City of Beaverton and Washington County. However, partnership and cooperation between the district, city and county is essential when providing or enhancing existing on-street connections to adequately serve users.

Within THPRD's service area, other jurisdictions are responsible for permitting development through the land use and development approval process. The land use ordinances of Beaverton and Washington County provide both jurisdictions the ability to require land dedication and on-site development of trails during the development review process. Trails included in each jurisdiction's Transportation System Plan (TSP) may be incorporated through the site planning and land division application review process.

In addition to working with the city and county, other agencies can offer guidance for trail planning and development. Table 3A provides an overview of these partner agencies.

Table 3A – Trail Planning Partners

Trail Partner	Description
Oregon Parks & Recreation Department (OPRD)	<ul style="list-style-type: none"> • Statewide recreational trails planning and development agency • Provides technical assistance for trail design and development • Provides funding for trail development and construction through state and federal grant programs • Supports bicycle and pedestrian tourism • Coordinates with ODOT to ensure compatibility between trails and transportation
Oregon Department of Transportation (ODOT)	<ul style="list-style-type: none"> • Statewide transportation planning and development agency • Provides technical assistance for trail design and development whenever located within a state right of way or on federally funded trail projects • Provides funding for trail design and development through state and federal grants and funding programs • Coordinates with OPRD to ensure compatibility between trails and transportation
Metro	<ul style="list-style-type: none"> • Regional trails and transportation planning agency • Provides technical assistance for trail design and development • Provides funding for trail design and development through regional and federal grants and funding programs • Coordinates with state and local agencies to ensure compatibility between trails and transportation • Administers a number of data collection, analysis and distribution programs on the regional trail system, including land acquisition, planning, implementation, monitoring and maintenance
Washington County	<ul style="list-style-type: none"> • THPRD’s ultimate service area includes portions of urbanized, unincorporated Washington County, such as Aloha, Bethany, Bonny Slope, Cedar Hills and Cedar Mill • Local transportation planning agency, including bicycle and pedestrian systems • Provides regulatory guidance/standards for trail design and development when located in the public right of way and as part of the development review process • Provides funding and/or other assistance for trail design and

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Trail Partner	Description
Washington County (cont'd)	<p>development through county funding programs and/or capital improvement projects, such as bike lanes or widened sidewalks</p> <ul style="list-style-type: none"> • Coordinates with THPRD and other local agencies to ensure compatibility between trails and transportation
Clean Water Services (CWS)	<ul style="list-style-type: none"> • Local environmental agency for water quality protection and enhancement • Provides regulatory guidance/standards for trail design and development located within vegetated corridors adjacent to creeks, stream and wetlands • Provides mitigation/enhancement requirements for impacts to vegetated corridors as a result of trail development.
City of Beaverton	<ul style="list-style-type: none"> • Located entirely within THPRD's ultimate service area • Local transportation planning agency, including bicycle and pedestrian systems • Provides regulatory guidance/standards for trail design and development when located in the public right of way and as part of the development review process • Provides funding and/or other assistance for trail design and development through local funding programs and/or capital improvement projects, such as bike lanes or widened sidewalks • Coordinates with THPRD to ensure compatibility between trails and transportation
City of Hillsboro	<ul style="list-style-type: none"> • Located on the west side of THPRD's ultimate service area • Local trails and transportation planning agency • Coordinates with THPRD to ensure compatibility with regional and community trail connections between service areas
City of Portland Parks & Recreation Bureau	<ul style="list-style-type: none"> • Located on the east side of THPRD's ultimate service area • Local trails planning agency • Coordinates with THPRD to ensure compatibility with regional and community trail connections between service areas
City of Tigard	<ul style="list-style-type: none"> • Located on the south side of THPRD's ultimate service area • Local trails and transportation planning agency • Coordinates with THPRD to ensure compatibility with regional and community trail connections between service areas

3.2 Trail Segments

The district’s trails system, illustrated in Figure 3C, includes nine regional trails and 15 community trails encompassing over 60 miles. Of the nine regional trails, six are previously identified in the 2006 Trails Master Plan and three are new, based on the development of this TFP. Eleven of the community trails come from the 2006 Trails Master Plan and four are new additions. Also illustrated on the 2015 Trail System Map are key neighborhood trails that provide connections from regional or community trails to significant points of interest, such as parks, natural areas, transit, schools or other areas of interest. Please note that while neighborhood trails are illustrated on the map, they are not designated by name in the same manner as regional and community trails are designated.

3.2.1 Current Trails

3.2.1.a Current Regional Trails

The district has six regional trails identified within its service area (based on the 2006 Trails Master Plan), traversing over 36 miles. Of these, two are nearly complete with only small segments remaining (Fanno Creek and Rock Creek Trails) and one is halfway complete (Westside Trail). The three remaining trails (Beaverton Creek, McKernan Creek (formerly named Cooper Mountain) and Tualatin Valley) have minimal, if any, segments completed. The following table illustrates the district’s regional trail network. These trails are illustrated in Figure 3C.

Trail segments that are constructed are considered “complete” in the status column in the following tables. Segments not constructed are deemed “incomplete” and segments that have portions constructed are considered “partial,”

Table 3B – Current Regional Trail Descriptions.

R1 – Rock Creek Trail			
Segment	Description	Status	Length (miles)
1	Sunset Highway – Crescent Park Trail	Incomplete	0.69
2	Crescent Park Trail – 185 th Avenue	Complete	0.32
3	185 th Avenue – West Union Road	Complete	0.26
4	West Union Road – Waterhouse Trail	Complete	1.00
5	Waterhouse Trail – Kaiser Road	Complete	0.77
6	Kaiser Road – Westside Trail	Complete	0.88

R3 – Westside Trail			
Segment	Description	Status	Length (miles)
1	Barrows Road – Scholls Ferry Road	Complete	0.39
2	Scholls Ferry Road – Weir Road	Complete	1.00
3	Weir Road – Galena Way	Complete	0.26

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R3 – Westside Trail			
Segment	Description	Status	Length (miles)
4	Galena Way – Rigert Road	Complete	0.64
5	Rigert Road – Hart Road	Complete	0.38
6	Hart Road – Burntwood Way	Complete	0.26
7	Burntwood Way – Davis Road	Complete	0.39
8	Davis Road – Division Street	Complete	0.42
9	Division Street – Farmington Road	Complete	0.22
10	Farmington Road – TV Highway	Complete	0.57
11	TV Highway – Merlo Light Rail Station	Partial	0.76
12	Merlo Light Rail Station – Jenkins Road	Incomplete	0.29
13	Jenkins Road – Walker Road	Partial	0.61
14	Walker Road – Sunset Highway	Incomplete	0.93
15	Sunset Highway – Cornell Road	Incomplete	0.31
16	Cornell Road – Oak Hills Drive	Incomplete	0.36
17	Oak Hills Drive – West Union Road	Incomplete	0.43
18	West Union Road – Rock Creek Trail	Incomplete	1.81
19	Rock Creek Trail – THPRD Boundary	Incomplete	TBD

R4 – Beaverton Creek Trail			
Segment	Description	Status	Length (miles)
1	THPRD Boundary – 185 th Avenue	Incomplete	0.79
2	185 th Avenue – 170 th Avenue	Incomplete	0.91
3	170 th Avenue – Murray Boulevard	Partial	3.56
4	Murray Boulevard – Cedar Hills Boulevard	Incomplete	1.13
5	Cedar Hills Boulevard – Lombard Avenue	Incomplete	0.52
6	Lombard Avenue – Allen Boulevard	Partial	1.21
7	Allen Boulevard – Denney Road	Partial	0.51
8	Denney Road – Fanno Creek Trail	Partial	0.49

R5 – Tualatin Valley Trail			
Segment	Description	Status	Length (miles)
1	Reedville Trail – 185 th Avenue	Incomplete	0.53
2	185 th Avenue – Westside Trail	Incomplete	1.38
3	Westside Trail – Murray Boulevard	Incomplete	0.63
4	Murray Boulevard – Erickson Street	Incomplete	1.42
5	Erickson Street – Beaverton Creek Trail	Incomplete	TBD

R7 – Fanno Creek Trail			
Segment	Description	Status	Length (miles)
1	Scholls Ferry Road – Hall Boulevard	Complete	1.17
2	Hall Boulevard – Denney Road	Complete	0.70
3	Denney Road – BSD Maintenance Shop	Partial	0.74
4	BSD Maintenance Shop – Scholls Ferry Road	Complete	0.68

R7 – Fanno Creek Trail			
5	Scholls Ferry Road – 92 nd Avenue	Incomplete	0.11
6	92 nd Avenue – Oleson Road	Complete	1.15

R8 – McKernan Creek Trail (formerly the Cooper Mountain Trail)			
Segment	Description	Status	Length (miles)
1	South Cooper Loop Trail – 175 th Avenue	Incomplete	TBD
2	175th Avenue – Summercrest Park	Incomplete	0.79
3	Summercrest Park – Westside Trail	Complete	0.47

3.2.1.b Current Community Trails

The district has 11 community trails identified within its service area (based on the 2006 Trails Master Plan), traversing over 30 miles. Of these trails, only the Waterhouse Trail has been nearly completed (only a fifth mile gap remains unconstructed of the 5 mile trail). The remainder of the district’s community trails has only partially completed segments or has not yet been constructed. The following table outlines the district’s community trail network. These trails are illustrated in Figure 3C.

Table 3C – Current Community Trail Descriptions.

C1.1 – North Bethany Trail			
Segment	Description	Status	Length (miles)
1	Rock Creek Trail – Reindeer Drive	Complete	0.13
2	Reindeer Drive – Springville Road	Incomplete	0.26
3	PCC Rock Creek Recreation Facility	Complete	0.85
4	PCC Rock Creek Recreation Facility – Bethany Creek Trail #1	Incomplete	1.46

C1.2 – Bethany Creek Trail #1			
Segment	Description	Status	Length (miles)
1	North Bethany Trail – Kaiser Road	Incomplete	0.46
2	Kaiser Road – Bethany Creek Trail #2	Incomplete	0.76

C1.3 – Bethany Creek Trail #2			
Segment	Description	Status	Length (miles)
1	Waterhouse Trail – Kaiser Road	Incomplete	0.64
2	Kaiser Road – Springville Road	Incomplete	0.76
3	Springville Road – Westside Trail	Incomplete	0.44

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C1.4 – Bethany Creek Trail #3			
Segment	Description	Status	Length (miles)
1	Waterhouse Trail – Kaiser Road	Incomplete	0.46
2	Kaiser Road – North Bethany Trail	Incomplete	0.51

C2 – Bronson Creek Trail			
Segment	Description	Status	Length (miles)
1	Cornell Road – Sunset Highway	Complete	0.18
2	Sunset Highway – 174 th Avenue	Incomplete	0.09
3	174 th Avenue – West Union Road	Incomplete	0.99
4	West Union Road – Westside Trail	Incomplete	0.60
5	Westside Trail – Laidlaw Road	Incomplete	1.05
6	Laidlaw Road – Westside Trail	Partial	0.63

C4 – Cedar Mill Creek Trail			
Segment	Description	Status	Length (miles)
1	Lost Springs Drive – Bonny Slope West Trail	Complete	0.57
2	Bonny Slope West Trail – Foege Park/Cedar Hills Boulevard	Complete	0.47
3	Foege Park/Cedar Hills Boulevard – North Johnson Creek Trail	Partial	0.61
4	North Johnson Creek Trail – Barnes Road	Partial	0.30
5	Barnes Road – Lost Springs Drive	Complete	0.30

C5 – Willow Creek Trail			
Segment	Description	Status	Length (miles)
1	Willow Drive – MAX Line	Incomplete	0.34
2	MAX Line – Heritage Parkway	Incomplete	0.45
3	Heritage Parkway – Walker Road	Incomplete	0.47
4	Walker Road – 173 rd Avenue	Incomplete	0.33
5	173 rd Avenue – Waterhouse Avenue	Complete	0.62
6	Waterhouse Avenue – 153 rd Avenue	Incomplete	0.47

C6 – Waterhouse Trail			
Segment	Description	Status	Length (miles)
1	Merlo Road – Baseline Road	Complete	0.59
2	Baseline Road – Walker Road	Complete	0.49
3	Walker Road – Willow Creek Greenway	Complete	0.71
4	Willow Creek Greenway – Sunset Highway	Partial	0.18
5	Sunset Highway – Jocelyn Street	Complete	0.82
6	Jocelyn Street – Stoller Creek Greenway	Complete	0.89
7	Stoller Creek Greenway – Waterhouse Linear Park	Complete	0.16
8	Waterhouse Linear Park – Springville Road	Complete	0.66
9	Springville Road – THPRD Boundary	Complete	0.87

C7 – North Johnson Creek Trail			
Segment	Description	Status	Length (miles)
1	Cedar Mill Creek Trail – Valeria View Drive	Incomplete	0.83
2	Valeria View Drive – Sunset Transit Center	Incomplete	0.36
3	North Johnson Creek Trail – Miller Road	Incomplete	1.51
4	Miller Road – Cornell Road	Incomplete	0.97

C8 – Beaverton Wetlands Trail			
Segment	Description	Status	Length (miles)
1	TV Trail – Westside Trail	Complete	0.66

C9 – South Johnson Creek Trail			
Segment	Description	Status	Length (miles)
1	TV Highway – Farmington Road	Incomplete	0.48
2	Farmington Road – Division Street	Incomplete	0.36
3	Division Street – Village Lane	Incomplete	0.31
4	Village Lane – Davis Road	Incomplete	0.24
5	Davis Road – Hart Road	Partial	0.85
6	Hart Road – Sexton Mountain Drive	Partial	0.55
7	Sexton Mountain Drive – Beard Road	Incomplete	0.54
8	Beard Road – Murray Boulevard	Incomplete	0.73
9	Murray Boulevard – Scholls Ferry Road	Incomplete	0.59

3.2.2 New Trails

As the district’s service area continues to urbanize within its outer fringe, new trails will be needed to serve residents and further expand the district’s existing and planned trail system. This includes the areas of Aloha-Reedville in the west, Bonny Slope West in the northeast and South Cooper Mountain in the southwest. The trails identified in the tables below are a result of planning efforts undertaken by Washington County (Aloha-Reedville, Bonny Slope West) and Beaverton (South Cooper Mountain). Although already urbanized and developed, the area east of Highway 217 is also in need of trails that would connect residents north towards US-26 and west towards the Beaverton Creek and Tualatin Valley Trails.

3.2.2.a New Regional Trails

The following table highlights three new regional trails the district needs to plan for as the areas described above begin to urbanize and develop. This includes the north-south Reedville Trail, which will connect the South Cooper Loop Trail to the Tualatin Valley and Beaverton Creek trails; and the South Cooper Loop Trail, which runs east-west connecting the Westside Trail to the Reedville Trail in the district’s southwest quadrant. The Crescent Park Trail also runs east-west and will connect to the Rock Creek Trail from the City of Hillsboro (based on

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Hillsboro’s updated 2015 trails master plan) in the district’s northwest quadrant. These trails are illustrated in Figure 3C.

Table 3D – New Regional Trails.

R2 – Crescent Park Trail			
Segment	Description	Status	Length (miles)
1	THPRD Boundary – Rock Creek West Soccer Fields	Incomplete	TBD
2	Rock Creek West Soccer Fields – Rock Creek Trail	Complete	1.32

R6 – Reedville Trail			
Segment	Description	Status	Length (miles)
1	THPRD Boundary – South Cooper Loop Trail	Incomplete	0.93
2	South Cooper Loop Trail – THPRD Boundary	Incomplete	0.57

R9 – South Cooper Loop Trail			
Segment	Description	Status	Length (miles)
1	Reedville Trail – Farmington Road	Incomplete	0.46
2	Farmington Road – Grabhorn Road	Incomplete	1.44
3	Grabhorn Road – McKernan Creek Trail	Incomplete	TBD
1	McKernan Creek Trail – Scholls Ferry Road	Incomplete	TBD
2	Scholls Ferry Road – Roy Rogers Road	Incomplete	0.68
3	Roy Rogers Road – Barrows Road	Incomplete	0.42
4	Barrows Road – Barrows Park	Incomplete	0.51
5	Barrows Park – Westside Trail	Complete	0.49

3.2.2.b New Community Trails

The following table highlights the four new community trails the district needs to plan for as the areas described above begin to urbanize and develop. This includes the Bonny Slope Area in the northeast and the South Cooper Mountain area in the southwest. These trails are illustrated in Figure 3C.

Table 3E – New Community Trails.

C3 – Bonny Slope West Trail			
Segment	Description	Status	Length (miles)
1	Cedar Mill Creek Trail – Thompson Road	Incomplete	1.63
2	Thompson Road – Bronson Creek Trail	Incomplete	1.36

C10.1 – South Cooper Mountain Trail #1			
Segment	Description	Status	Length (miles)
1	McKernan Creek Trail – South Cooper Loop Trail	Incomplete	TBD

C10.2 – South Cooper Mountain Trail #2			
Segment	Description	Status	Length (miles)
1	McKernan Creek Trail – South Cooper Loop Trail	Incomplete	TBD

C10.3 – South Cooper Mountain Trail #3			
Segment	Description	Status	Length (miles)
1	South Cooper Loop Trail – South Cooper Mountain Trail #9.1	Incomplete	TBD

3.2.3 Trail Corridor Study Areas

It should be noted that much of the district’s remaining (to be constructed) regional and community trail systems are located within creek corridors and other environmentally sensitive areas. These trail corridors have been identified on the 2015 Trail System Map (Figure 3C) as study areas, which mean these areas do not have a defined trail alignment at this time.

These study areas will undergo a feasibility analysis incorporating both this TFPs Trail Prioritization Criteria Matrix (Table 4A) and the district’s Natural Resource Functional Plan’s (NRFP) Site Development Suitability Criteria (Table 5A in the NRFP) to determine an appropriate trail alignment. Although this analysis could result in the recommendation that a trail, or portion of a trail, be located outside of the resource area (possibly as an on-street connection), require additional natural area mitigation along the trail corridor or not be constructed at all, it is the desire of the district to provide off-street trails and connectivity whenever reasonable. Where the TFP trail prioritization criteria indicates a high priority for trail development and the NRFP site suitability criteria indicates a high priority for natural resource function, it shall be up to the district’s management team and/or board of directors to determine which priority takes precedence.

For those trail corridors located within creek corridors or other environmentally sensitive areas but not identified on the trail system map in a study area, this same feasibility analysis will take place in order to determine the most appropriate trail alignment.

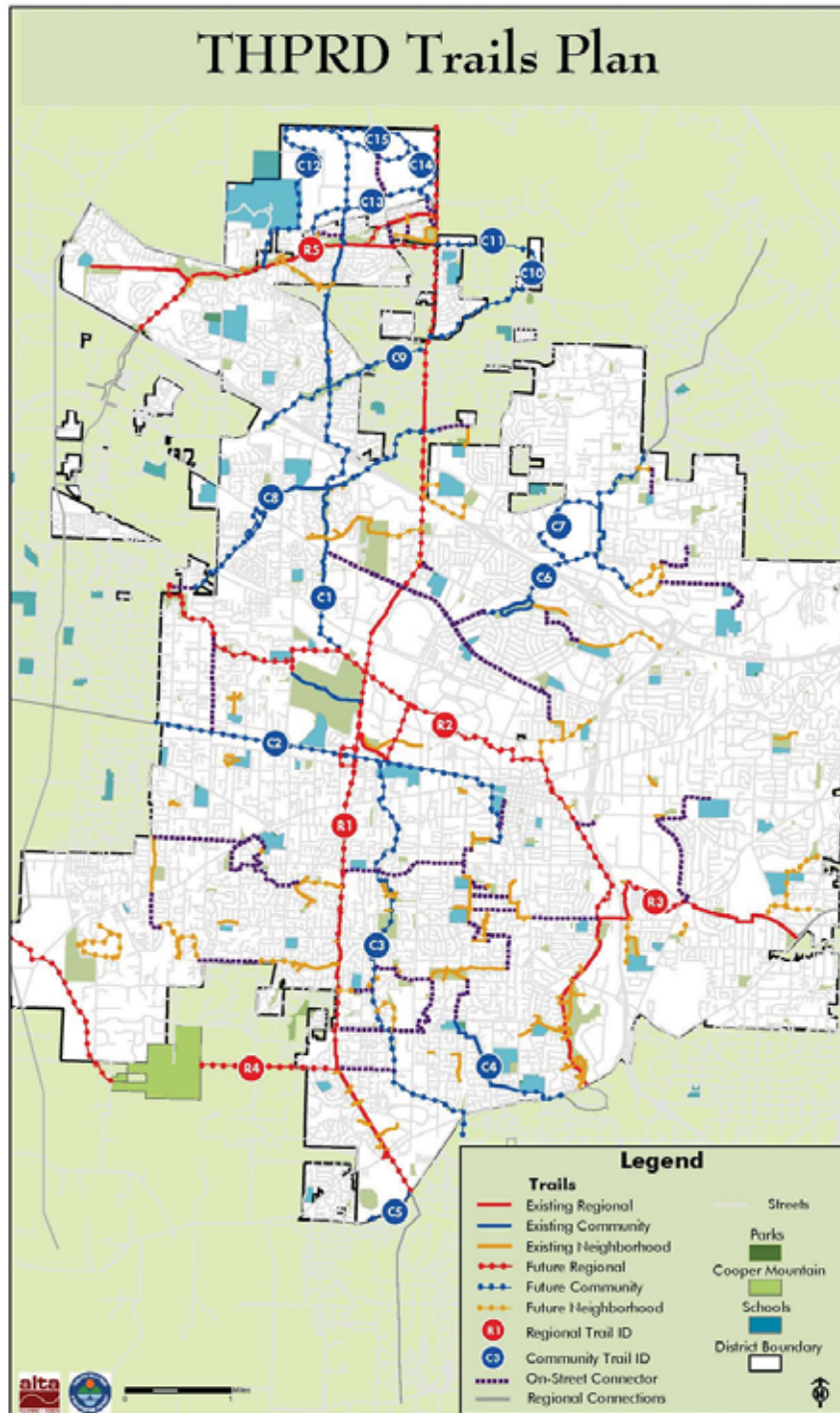
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3.2.4 Maps

3.2.4.a 2006 Trail System

Figure 3A illustrates the district's trail system at the time of the 2006 Trails Master Plan. This map provides a historical look at the trail system prior to the passage of the 2008 bond measure and the completion of a number of trail segments throughout the district.

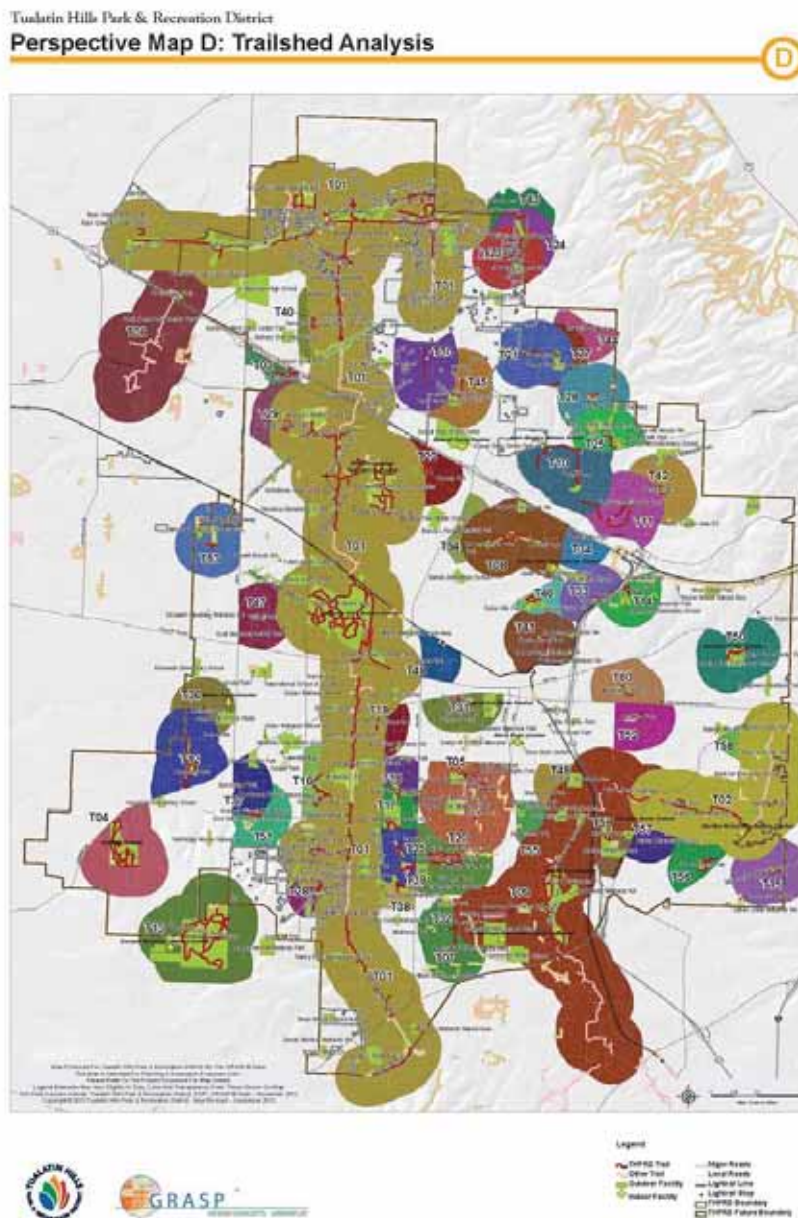
Figure 3A – 2006 Trail System Map.



3.2.4.b Trailshed Analysis

Figure 3B illustrates walkable access for district residents to district facilities from constructed district trails. This analysis was completed as part of the 2013 Comprehensive Plan Update, which calls for an emphasis on walkable access to district facilities such as trails, parks, natural areas and recreation/aquatic centers. This map also illustrates walkable access to the district’s trail system; represented by the shaded areas (each color represents one trailshed). This map is for reference only (more detailed information can be found in the 2013 Comprehensive Plan Update).

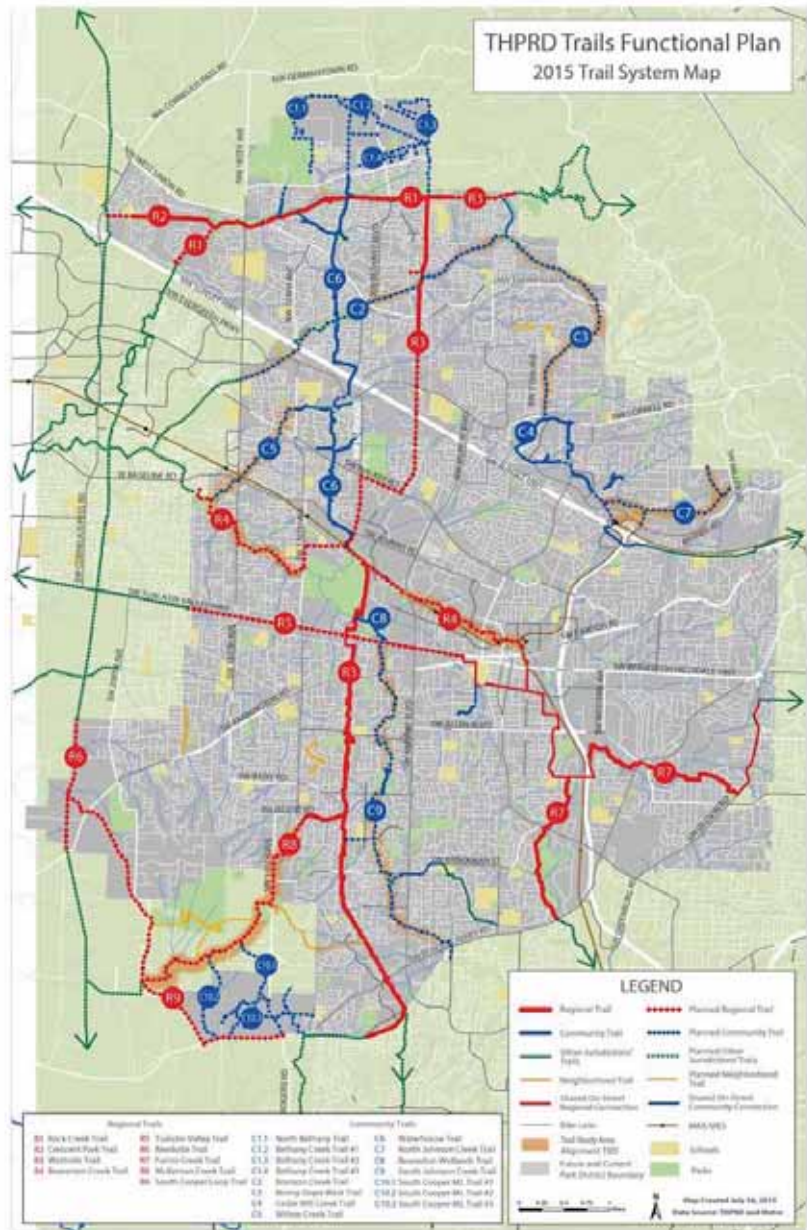
Figure 3B – 2013 Trailshed Analysis.



3.2.4.c 2015 Trail System

Figure 3C illustrates the existing and planned trail system in THPRD’s service area. It also shows the context of existing and planned trails of other jurisdictions. It should be noted that some of the future trails are depicted as study areas, indicating these trail corridors are located in natural areas and require an additional level of analysis with site suitability criteria identified in the district’s NRFP to ensure trail and resource area compatibility. A large scale map can be found in the appendix for better legibility.

Figure 3C – 2015 Trail System Map.



4. Achieving Success / What We Want To Be

To facilitate the district’s desire to provide, maintain and operate a quality trail system, a number of guidelines have been established. A number of elements need to be considered, including, but not limited to, trail classifications, accessibility, amenities, surfacing, bridges and boardwalks and mid-block crossings. This section of the TFP provides the guidance necessary to ensure district trails meet user expectations.

4.1 Trail Design Standards by Classification

A complete trail network provides a variety of experiences within a range of settings. THPRD’s system includes routes that provide recreational opportunities as well as alignments that present viable transportation alternatives. The system includes three main functional classes of trails:

- Regional Trail
- Community Trail
- Neighborhood Trail

See Section 3.1.2 above for definitions of the trail classifications. Table 4A below provides guidance on trail design based on classification and Figures 4A through 4C illustrate a typical trail cross-section for each trail classification.

Table 4A – Trail Classification Design Matrix.

Classification	Function	Materials	Width	Vertical Clearance*	Horizontal Clearance**
Regional	Provides transportation and recreational connectivity at a regional scale	Paved (asphalt or concrete); may be pervious	12 feet with 2 foot gravel shoulder	10 feet (from top of trail)	2 feet (from edge of shoulder)
Community	Provides recreational and transportation connectivity at a community scale	Paved (asphalt or concrete; may be pervious)	10 feet with 1-2 foot gravel shoulder	10 feet (from top of trail)	2 feet (from edge of shoulder)
Neighborhood (Urban)	Provides access or a parallel route to higher level trail facilities.	Paved	6-8 feet, with or without gravel shoulder	10 feet (from top of trail)	2 feet (from edge of shoulder or trail w/o shoulder)

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Classification	Function	Materials	Width	Vertical Clearance*	Horizontal Clearance**
Neighborhood (Natural)	Linear natural spaces typically following riparian corridors.	Varies depending on site conditions	6-8 feet, no gravel shoulder	10 feet (from top of trail)	2 feet (from edge of trail)

*area above the trail free from obstructions such as tree limbs or branches

**area on both sides of trail free from obstructions such as shrubs and trees

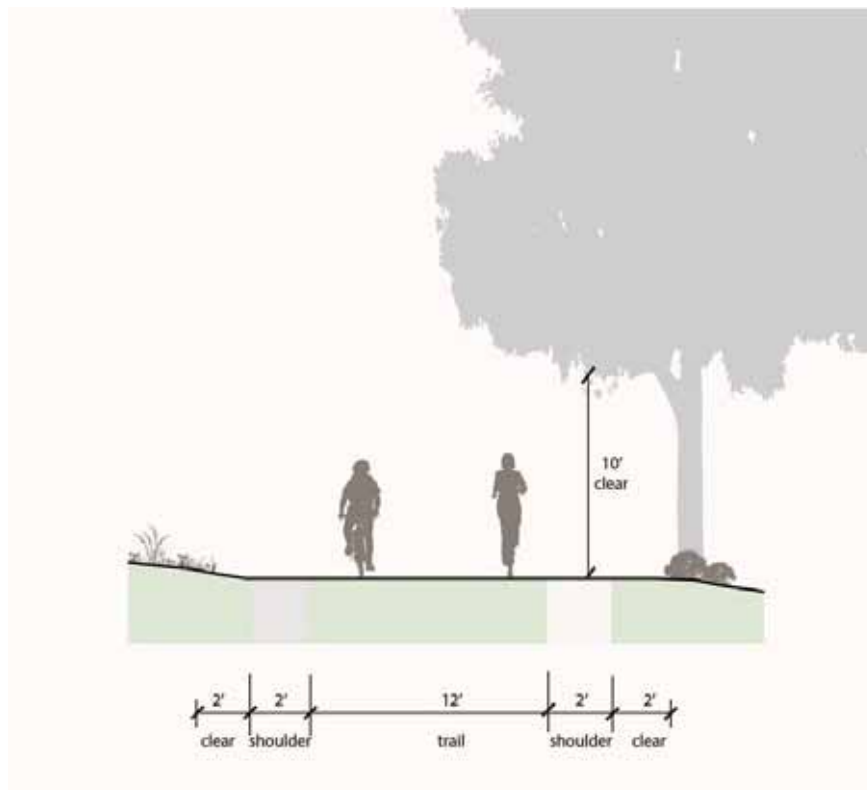


Figure 4A – Regional trail typical section.

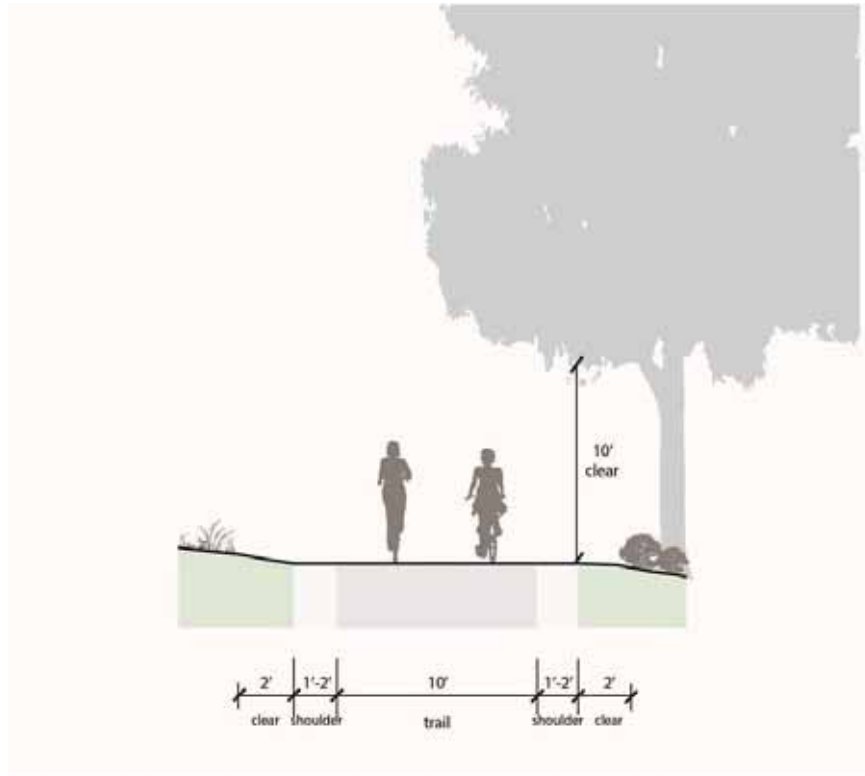


Figure 4B – Community trail typical section.

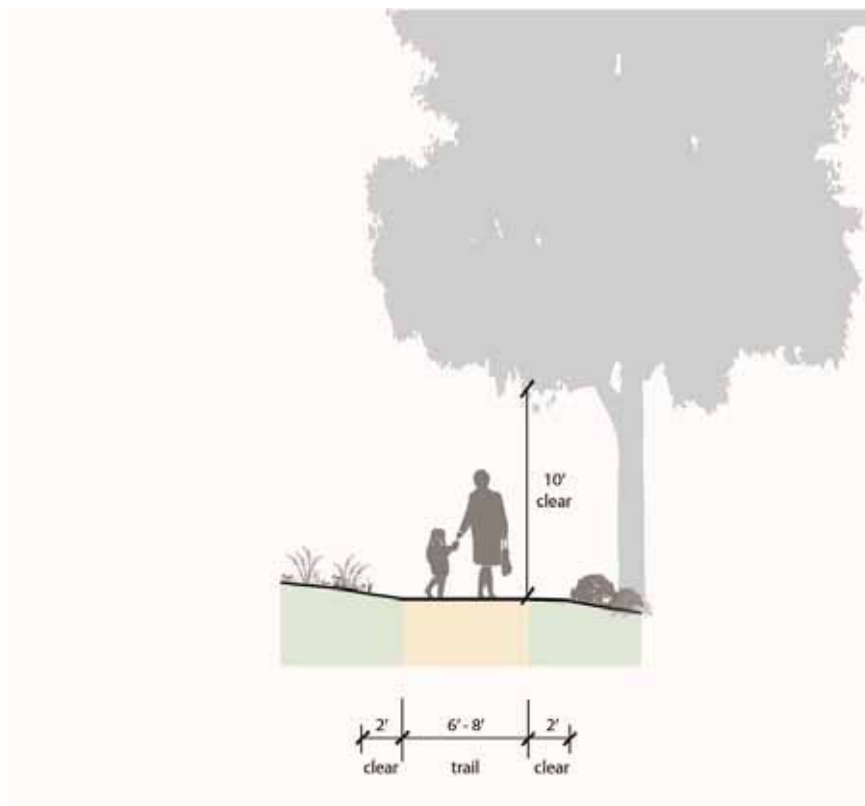


Figure 4C – Neighborhood trail typical section.

4.2 Additional Trail Type Design Standards

Trails of each classification traverse many types of environments and contexts. The standards below in Table 4B provide guidance for some common trail types, based on site context.

Table 4B – Additional Trail Type Design Matrix.

Type	Function	Materials	Width	Vertical Clearance*	Horizontal Clearance**
Combined Trail and Sidewalk	Provides route options for both bicyclists and pedestrians outside of existing roadway corridors	Paved (asphalt or concrete)	12 feet (sidewalk and trail)	10 feet (from top of trail)	2 feet (from edge of trail)
Trail Adjacent to a Road or Sidewalk	Separated route within a transportation corridor	Paved	Regional Trail: 12 feet, Community: 10 feet	Vertical curb between trail and roadway; 10 feet (from top of trail)	4 feet landscape buffer between trail and roadway/sidewalk; 4 feet (from edge of trail) - non-landscape buffer side)
Trail in a Greenway	Provides route for both pedestrians and bicyclists using riparian corridors and/or wetland areas	Paved or unpaved	6-8 feet; should include a vegetated buffer zone from adjacent water bodies.	10 feet (from top of trail)	2 feet (from edge of trail)

*area above the trail free from obstructions such as tree limbs or branches

**area on both sides of trail free from obstructions such as shrubs and trees

Any new or improved sidewalks should adhere to the requirements of the City of Beaverton or Washington County, as appropriate. The district should partner with both agencies as road improvements are being planned along trail corridors to help ensure bicycle and pedestrian needs are adequately met.

4.2.1 Combined Trail and Sidewalk

Shared use paths are completely separated from motorized vehicular traffic and are constructed in the public right of way, within a green space area, public utility corridor or other public access area. Combined sidewalks and trails are generally located adjacent to roadways within the public right of way. They may be separated from the curb by a landscape buffer or they may be “curb-tight,” connected to the curb.

Trail design standards for these types of facilities are described in the table above. Additional consideration should also be given to enhancing the user experience and safety for both bicycles and pedestrians, including the use of striping, landscaping, clear sight lines and other design considerations described later in this section. Figures 4D and 4E illustrate typical cross-sections for these two trail types.

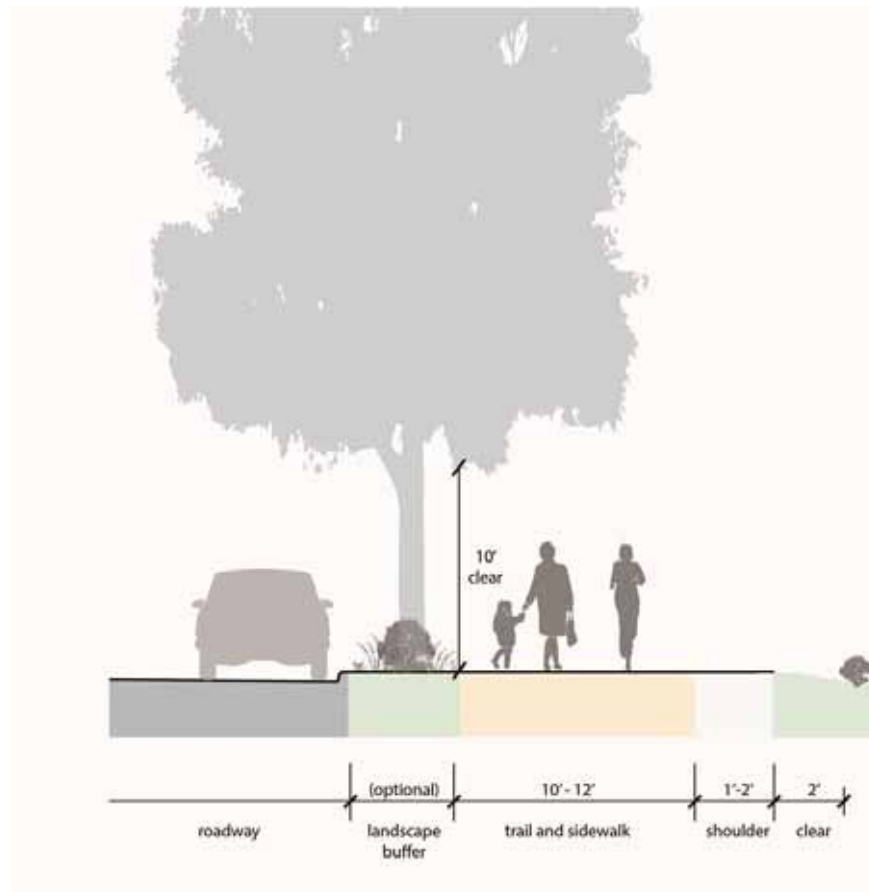


Figure 4D – Combined trail and sidewalk typical section.

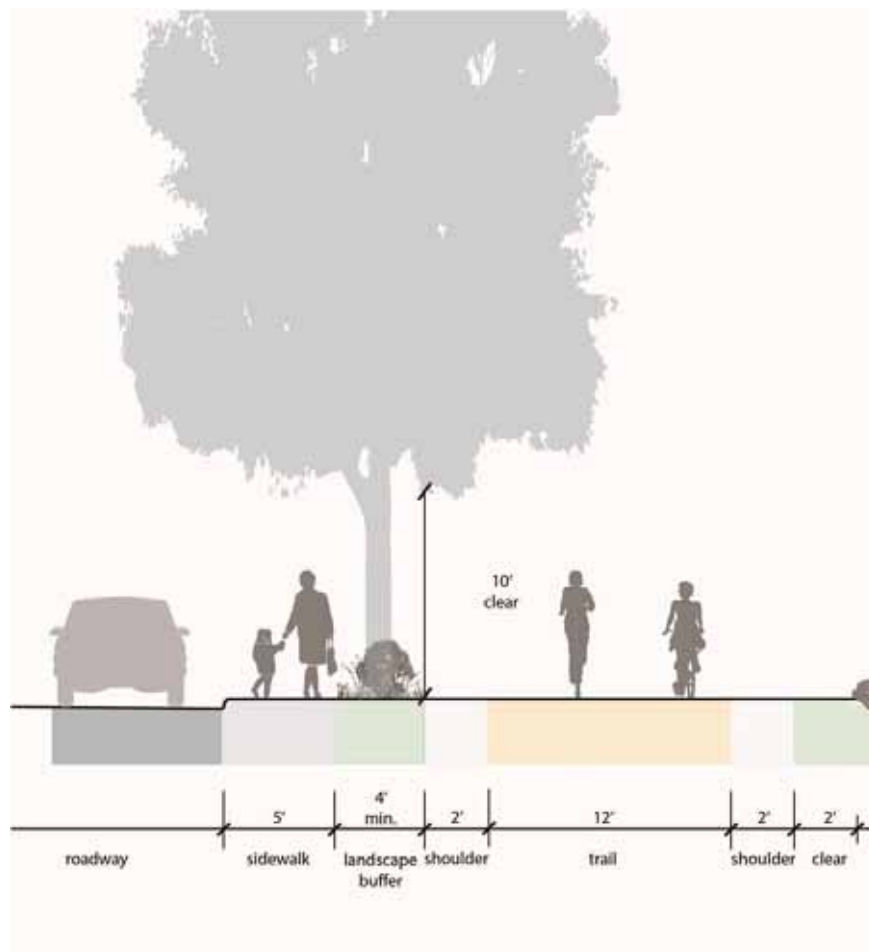


Figure 4E – Trail adjacent to a roadway, trail typical section.

4.2.2 Trails within Greenways

Due to much of the district’s service area being urbanized, limited opportunities are available to develop new off-street trails. Much of the district’s remaining (to be constructed) regional and community trail system is located within environmentally sensitive areas, such as creek corridors and greenways. Greenways are defined as follows:

Greenways are linear natural spaces that follow creeks and streams. Some greenways provide public access with environmentally compatible trails, viewpoints, or watercraft launch sites. Other greenways prioritize wildlife habitat protection and do not allow any public access. (Metro, Regional Trails and Greenways Plan)

Greenways offer substantial recreational and green space preservation opportunities. When planning for a trail along or in a greenway, a balance must be provided between the protection of natural resources and the public’s desire for access to natural resource areas. Trails within

greenways should be studied to identify impacts to natural resource areas, stormwater, flora and fauna, and flood levels as well as recreational and transportation benefits for district residents.

As mentioned previously in this TFP, the trail system map (Figure 3C) highlights study areas where trails are planned to be located along or within creek corridors. This includes trails such as Beaverton Creek, Bronson Creek, Willow Creek and others. Section 3.2.3 outlines the process of how these study areas will be evaluated using both trail prioritization criteria outlined in this plan and the site development suitability criteria outlined in the district's NRFP.

The following principles provide some general environmental considerations for trail development within greenways:

- Consider
 - Alignments to minimize the number of stream crossings
 - Circulation and/or migration of local fauna
 - Impact of on-site vs. off-site mitigation
 - Opportunities for the restoration of poor water quality, habitat areas and/or stream edges
 - Interpretive or educational elements to highlight local features, flora and fauna
 - Use of concrete as a surface treatment option for trails in greenway due to its durability and lower maintenance requirements
 - Natural dispersed infiltration systems such as vegetated swales or infiltration strips to manage stormwater
 - Construction materials with little to no toxicity (see <http://www.pharosproject.net>)
- Avoid
 - Fragmentation of small habitats
 - Wetlands whenever possible, but if necessary span at the narrowest point
 - Constructing trails that may be more prone to erosion and maintenance upkeep over time
 - Use of pervious paving in floodplain areas or areas without proper drainage due to sedimentation and higher maintenance requirements
- Maintain buffer zones (vegetated corridors) from creeks, streams and sensitive bodies of water per Clean Water Services standards

4.3 Design Exceptions

The design standards and guidelines outlined in this section are the district's best practices and basis for design of all planned trails. However, trail development requires consideration of the local context, project site conditions, the environment and jurisdictional requirements.

During the master planning and design development process, the district will consider alternatives to the standard width dimensions, turning radii, surface treatments and other elements when justification is provided to address the following factors:

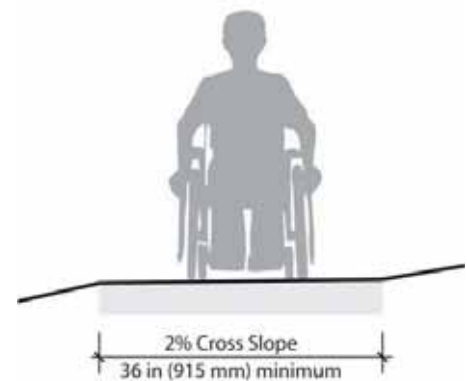
- User safety
- Avoidance of and/or minimizing environmental impact
- Consideration of topography
- Demand and anticipated level of use
- Cost

Generally, trail widths less than the standard are only to be used over short distances, such as around utility poles, bridge abutments, significant trees or in sensitive natural resource areas. Trail widths greater than the standard width may also be considered in high use areas, such as near commercial centers, transit, schools and recreation facilities. Design exceptions may require approval by the district's management team.

4.4 Accessibility

4.4.1 ADA

The Americans with Disabilities Act (ADA) was established to prohibit discrimination on the basis of disability by public accommodations and requires places of public accommodation and commercial facilities to be designed, constructed and altered in compliance with the accessibility standards established by the ADA. As new trails are developed and existing trails are enhanced, the district will work in meeting ADA requirements to ensure access for all.



4.4.2 ADAAG

The United States Access Board has approved the Americans with Disabilities Act Accessibility Guidelines (ADAAG) for trails and outdoor recreational access routes. However, some trails may have limitations that make meeting ADAAG guidelines difficult or prohibitive. Prohibitive impacts include harm to significant cultural or natural resources, requirements of

construction methods that are against federal, state or local regulations, or terrain characteristics that prevent compliance.

Some key ADAAG guidance considerations include:

- Use of firm and stable surfaces, such as asphalt, concrete, wood, recycled plastic lumber or compacted gravel, wherever universal accessibility is a consideration
- Provide clear tread width a minimum of 3 feet
- Provide a 5 foot wide passing space at a minimum of every 1,000 feet when the trail width is less than 5 feet wide
- Avoid surface obstacles more than one-half inch high, or 2 inches high when the surface is other than asphalt, concrete wood or recycled plastic lumber
- Avoid a cross slope more than 2%, or 5% where the surface is not asphalt, concrete, wood or recycled plastic lumber when necessary for drainage
- Longitudinal slope must meet one or more of the following conditions shown in Table 4C
- Provide detectable surface changes at curb ramp approaches from roadways or parking areas
- Provide one accessible parking space per every 25 vehicle spaces at trailheads
- No more than 30% of the total trail length may exceed a running slope of 8.33%

Table 4C – Maximum Running Slope and Length.

Running Slope		Maximum Length of Segment
Steeper than	But no more steep than	
1 : 0 (0%)	1 : 20 (5%)	No Limit
1 : 20 (5%)	1 : 12 (8.33%)	200 feet
1 : 12 (8.33%)	1 : 10 (10%)	30 feet
1 : 10 (10%)	1 : 8 (12%)	10 feet

ADA Accessibility Guidelines (ADAAG), ADA Standards, <https://www.access-board.gov/guidelines-and-standards/buildings-and-sites/about-the-ada-standards/background/adaag>

4.5 Regulatory

4.5.1 Oregon Department of Transportation (ODOT)

ODOT has adopted the American Association of State Highway and Transportation Officials (AASHTO) Guide for the Development of Bicycle Facilities for trail design standards. The AASHTO guide should be consulted for geometric design standards such as horizontal and vertical curves, and sight-distance. This is especially important for those trails serving a transportation function, such as regional trails. Any trail projects receiving federal funding assistance will be required to meet ODOT standards in its design and development.

4.5.2 American Association of State Highway and Transportation Officials (AASHTO)

The AASHTO Guide for the Development of Bicycle Facilities generally recommends against the development of trails along roadways. These facilities create a situation where a portion of the bicycle traffic rides against the normal flow of motor vehicle traffic and can result in wrong-way riding when either entering or exiting the trail. As mentioned above, AASHTO provides guidance for the geometric design of trail design and construction. These standards should be considered for all trail projects and are required to be met for all federally funded trail projects.

4.5.3 Manual of Uniform Traffic Control Devices (MUTCD)

The MUTCD regulates the design and use of all traffic control devices including signs and pavement markings. A summary of the MUTCD guidance for trails and bicycles includes the following:

- Use of a solid yellow line when passing is discouraged
- Use of a dashed yellow line when passing is permitted due to adequate conditions
- Use of striping in areas of restricted sight-distance, substandard trail width, high traffic areas, intersection approaches and/or where night time riding is expected with limited lighting
- Avoid over-striping trails in order to maintain effectiveness for trail user safety purposes
- Any transportation related signage (regulatory, caution, directional, etc.) visible from roadways or other public right of way must meet MUTCD standards

Please note that the district's Trails Management Program contains more detailed information related to MUTCD guidance and how the district puts this guidance into practice along the trails system.

4.5.4 Utilities

Many types of utilities, such as water, gas, electric and others offer good opportunities for trail co-location. Recreational and utility co-use has some complications, including the unique needs of the utility company or public agency. However, with strategic maintenance and land agreements, utilities can have a minimal effect on trail users. Additionally, utility companies usually benefit by having an uninterrupted and easily accessible route to their utility service.

Each utility has specific requirements regarding trail routing, alignment, setbacks, loading, landscaping and other factors. For each project all utilities should be coordinated with to ensure current requirements are being used as well as to better understand utility maintenance schedules and servicing needs, including frequency and vehicle/equipment requirements. Limitations may be placed on trail surfacing materials and location of structures, such as bridges and boardwalks, depending on utility type and location.

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The district works with the following utility companies and jurisdictions on many of its trail projects:

- Bonneville Power Administration (BPA)
- Portland General Electric Company (PGE)
- Northwest Natural Gas (NWN)
- Tualatin Valley Water District (TVWD)
- Clean Water Services (CWS)
- City of Beaverton
- City of Portland

4.5.5 Railroad / TriMet

As with utilities, some of the district's trails are, or will be, located in right of way owned by Union Pacific Railroad and operated by Portland & Western Railroad or owned and operated by TriMet. As such, coordination with each of these agencies is needed to ensure their respective requirements are being met. Because most of these are live railroad right of ways, additional safe guards must be considered when design and constructing trails. This includes consideration of the following:

- Use of fencing and/or other separation techniques should be part of the trail design when adjacent to railroad tracks
- Maximize the setback between the trail and the railroad tracks to the greatest extent possible; subject to railroad, federal, state and regional guidelines

4.6 Surfacing

When determining surface type for THPRD trails, consider topography, landscape context, underlying soils, trail type and classification. Asphalt is the preferred standard for all regional and community trail surfacing, but alternative trail surfacing may be allowed with a design exception. All surfaces have advantages and disadvantages, and each must be analyzed to determine which surface is most appropriate in any given location.

4.6.1 Impervious

Traditionally, asphalt and concrete are the most commonly used materials for trails because they last the longest, meet ADA and ADAAG requirements and meet the needs of most users.

Other possible trail surfacing options include:

- Commercial soil stabilizers
- Geotextile confinement systems
- Crusher fines
- Limestone treated surfaces
- Recycled plastic or wood decking

Surfacing options for bridges and boardwalks are identified in Section 3.3.8.

In arriving at a recommended trail surface, the following should be considered:

- Initial capital cost and funding
- Long-term maintenance costs
- Surfacing durability and longevity
- Existing soil and environmental conditions
- Availability of materials
- Anticipated trail use/functionality
- Aesthetics

ADA and ADAAG-compliant trails require paved surfaces, in most instances, for access and ease of use. In limited cases, packed gravel fines can be used, where there is little to no topography. However, packed surfaces require much more maintenance effort and cost over time, and may not be desirable in the long term.

Asphalt. Asphalt trails offer substantial durability for the cost of installation and maintenance. Asphalt is popular with users for its smooth, continuous surface and has the benefit of lower cost, but requires more upkeep in comparison to concrete. As a flexible pavement, asphalt can also be considered for installing as a paved trail in a greenway or with grades steeper than three percent. If constructed properly on suitable sub-grade, asphalt has a life span of ten to 15 years. The use of asphalt for trails is the district's preferred standard.



Figure 4F – Typical asphalt trail cross-section.

Note: Use of geotextile fabric is optional depending on site conditions.

Concrete. When cost allows, concrete is recommended because of its durability, longevity and lower maintenance requirements. Concrete is especially good in areas prone to frequent flooding, such as greenways. However, the hardness and jarring effect of this surface is not preferred by runners or cyclists. Concrete joints that are saw-cut rather than tooled tend to improve trail user experience. If constructed properly on suitable sub-grade, concrete has a life span of approximately 25 to 30 years.

4.6.2 Pervious / Permeable

The use of permeable paving when feasible supports the district's sustainability policy and has a number of positive environmental impacts, include lower storm water runoff and greater water infiltration rates. However, permeable paving is generally twice the cost of impervious materials to install and is recommended when site conditions are conducive to its use. As permeable paving continues to evolve and improve, the district will continue to evaluate its potential use in the trail system. The following should be considered for its use:

- Conduct a feasibility study to determine site conditions and soil type
- Environmental factors, such as the proximity to tree canopies or soil debris
- Establishment of a regular and routine maintenance schedule to retain permeability, access for vacuuming debris and cleaning equipment, especially after storm events
- Areas with proper drainage (not suitable in floodplain or areas with ponding or sedimentation)

4.6.3 Soft Surface

For purposes of this plan, natural surface trails are limited to bare earth (soil), gravel or crushed rock. Additional information about soft surface trails can be found in the district's PFP. When using crushed rock or gravel, trails in greenways benefit from screenings that contain about 4% fines by weight to compact and stabilize the trail's surfacing over time. However, an alternative surface should be considered when designing in flood-prone areas or steep terrain. When using soft surface trails:

- Provide constant positive drainage to avoid ponding
- Bench cut trail into slope without extensive removal of existing vegetation; build grade reversals and out-sloped elevations to encourage sheet flow across the trail
- Design small-scale stormwater facilities along the trail to minimize erosion
- Provide a longitudinal slope of 5% and a cross slope of 2%
- Keep the trail available for year round use

4.7 Amenities

Amenities help distinguish district trails from others and help to enhance the trail user experience. This includes features such as site furnishings, bollards, signage, striping and fencing. It should be noted, however, that these amenities will not always be found along all

district trails due to site constraints, trail classification, anticipated trail use and other factors. The following design guidelines for typical district trail amenities are intended as a tool for decision-making purposes related to new trail design or the enhancement of existing substandard trails.

4.7.1 Site Furnishings

Although district trails are regularly maintained and monitored, it is advisable to use vandal resistant construction and materials whenever possible. Site furnishings typical to district trails are highlighted as follows:

- Seating
 - May include benches, seat walls, boulders, logs or other built features
 - Typically located at trailheads, mid-block crossings, wildlife or natural area viewing locations and other areas of interest
 - Provide adequate space for strollers and wheelchairs in a manner that does not impede trail use
 - Seat walls shall include skate deterrents as appropriate
- Trash receptacles
 - Preferably located at trailheads and mid-block crossings; may be considered near wildlife/natural area viewing locations if high use is anticipated
 - Should not be located directly adjacent to benches and seating areas
 - Should be located for ease of maintenance service and access
- Bike racks
 - Typically located at parks along trail corridors, trailheads and where restrooms are located
 - Should be located in a manner that does not impede trail use
- Drinking fountains and port-a-potties
 - Preferably located at trailheads and parks along trail corridors; may also be considered near mid-block crossings if other locations are too far away
 - New drinking foundations should include pet bowl and jug filler options
 - Consider locations for ease of maintenance service and access
- Doggie bag dispensers
 - Typically located at trailheads, mid-block crossings and near trash receptacles
 - Mount on post with rules sign or on other surface as appropriate

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- Kiosks
 - Typically located at major trailheads or trail intersections
 - Design adjacent to the trail near other site furnishings, such as a bench or trash receptacle

- Artwork
 - Should be considered in the overall design of a trail project, as appropriate, and can be incorporated as part of the site furnishings (benches, bike racks, kiosks, etc.); as trail elements (bridge, boardwalk, walls, etc.); as stand-alone features (sculpture, mural, etc.); or as educational features (interpretive elements, environmental features, etc.)
 - Consider using local artists to provide works that make the trail network uniquely distinct and representative of the district's character

4.7.2 Bollards

The use of bollards along district trails is intended to discourage motorized modes from using them. They are also used to distinguish district trails from trails provided by other public agencies (like school districts or cities) and private groups (like homeowner associations or golf/athletic clubs). The types of bollards used by the district and their unique characteristics are highlighted as follows:

- May include permanent, removable, collapsible or other site elements, such as boulders or logs

- Typically located at trailheads, mid-block crossings, maintenance access points and any other access point where vehicles may access the trail

- Bollards are generally installed in groups of:
 - Two with removable or collapsible bollards
 - Three with two permanent bollards and one removable or collapsible bollard

- Bollards are typically yellow in color and should consider the use of reflective tape

- Permanent
 - Typically used on regional and community trails
 - Locate in the gravel shoulder; where no shoulder exists, should be located 1-2 feet from edge of trail

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- Removable / Collapsible
 - Typically used on regional, community and neighborhood trails
 - Located at trail centerline when used with permanent bollards on regional and community trails
 - Locate at trail centerline when natural features create side barriers for neighborhood trails
- Boulders / Logs
 - Typically located along street frontages at mid-block crossings, trailheads with parking areas and other potential unauthorized vehicle access points
 - Often used in combination with bollards, especially if boulders are available on site or from another project
 - Space uniformly to discourage vehicle entry but still allow for mowing and smaller sized maintenance equipment

4.7.3 Signage

All signage proposed along trails shall adhere to the district's approved Signage Master Plan. All signs visible from the public right of way must conform to MUTCD standards and guidelines, especially those signs that are directional and regulatory in nature. The district is also a partner in Metros Intertwine Regional Trails Program, which provides guidance for identification and wayfinding signage for the interconnectedness of regionally significant trails, parks, natural areas and green spaces of the greater metropolitan area. The following list represents signage most commonly found throughout the district's trail system. Table 4D provides guidance for locating these typical sign types found along trails.

- Site Identification – Type A Sign Family
- Trailhead Identification – Type D Sign Family
- Regulatory – Type R Sign Family
- Directional and Safety – Type T Sign Family

Table 4D – Trail Signage Locational Guidelines.

Level of Visibility (High to Low)	Sign Type	Type of Location	Site Placement	Comments
	Large ID Sign: A2	Oriented towards automobile driver	Main entrance OR prominent road location	Arterial street
	Standard ID Sign: A1	Oriented towards automobile driver	Main entrance OR prominent road location	Minor collector OR neighborhood street
	Trail ID Sign w/ map: D2	Major pedestrian entry point/trailhead/existing park (ex: light rail station, parking lot)	On right side of trail	Requires orientation map
	Trail ID Sign: D1	Regular pedestrian entrance off arterial street	On right side of trail at a minimum of 10 feet inside trail OR at the apex of the "T" intersection if appropriate	Include directional strips with distance to prominent feature or trail connection
	Small ID/Rules Sign: A3/R1	At minor entry points, including street crossings	On right side of trail	Rules must be displayed at all entry points
	Trail Connection: T3	Where patron must exit trail and use on-street/sidewalk routes to close a gap in trail	On right side of exiting trail.	Requires connection map
	Pedestrian Directional: T5	Major directional at an internal trail intersection OR split	Placed at the apex of the "T" or "V" intersection	
	Trail Directional: T1	Minor directional at an internal trail intersection OR split	Placed at the apex of the "T" or "V" intersection	Visible/useful for users coming from different directions
	Trail Crossing: T4	Where trail makes direct connection across the street	On right side of trail where patrons cross	Must meet MUTCD standards

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- Identification
 - Signs may include the Intertwine designation per Metros Intertwine Regional Trails Signage Guidelines
- Regulatory
 - Typically includes the R1 sign type at all trail sites, although other regulatory signs may be applicable
 - R1 signs are typically located at all trailheads, mid-block crossings and all other trail entries and can be combined with A3 signs and doggie bag dispensers as appropriate
 - Any other regulatory sign types are to be located at the appropriate location(s) within a trail corridor
 - Follow AASHTO and MUTCD guidelines for signs at mid-block crossings and trail intersections
- Directional and Safety
 - Follow Metros Intertwine Regional Trails Signage Guidelines
- Educational
 - Typically includes interpretive signage, although other signage may be applicable
 - Interpretive signs are typically used when unique site features or educational characteristics exist; any such signage must adhere to the district's interpretive signage program as administered by its Natural Resources & Trail Management department

4.7.4 Striping

The use of striping is based on the district's Trails Management Program. However, trail projects that are federally funded will be required to follow AASHTO and MUTCD guidelines. The intent of the district's striping protocol of trails is to promote trail user safety by mitigating substandard trail conditions such as trail narrowing, limited sight-distance or sharp curves. It is not THPRD's intent to stripe all the trails throughout the district.

4.7.5 Fencing / Railing

Fences or railings along trails may be needed to prevent access to/from high-speed roadways or to provide protection along steep side slopes and waterways. Fences should only be used where they are needed for safety reasons. They should be placed as far away from the trail as possible; with a minimum offset of two feet. Many of these principles apply to cut-sections of trail where retaining walls are required: minimum two feet offset, with a rub-rail whenever possible. Whenever fencing or railing is used in a trail corridor, the following fencing types should be considered:

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- General considerations
 - The district does not install fencing for property owners; in instances where it is required, the district shall place such fencing on the property owner side of the property line and the property owner is responsible for fencing after installation
 - The district does not install fencing to delineate natural area boundaries unless deemed necessary by the Natural Resources & Trail Management department
 - Fencing should be located within a mow strip as deemed necessary by the Maintenance Operations department regardless of fencing type

- Split-rail
 - Preferably used for site boundaries, natural areas and safety; it is the district's preferred fencing type in most situations where delineation between activities or uses is needed
 - When used for site boundaries, fencing should be placed on district side of the property line for ease of maintenance
 - Generally 3-4 feet tall, having two rails; fences having three rails are considered "heavy duty"
 - Consider along trails having steep downhill slopes or at top of retaining walls
 - Locate within a bark mulch mow strip as appropriate

- Chain-link
 - May used for site boundaries and safety
 - Generally 3-6 feet tall depending on situation
 - May be galvanized or vinyl-coated depending on location; where vinyl-coating is needed, it should be black
 - Consider use of privacy slats as appropriate

- Welded wire or field fencing
 - Typically used for natural areas
 - Generally 2-5 feet tall
 - Consider along natural areas where access by park users are not desired, such as mitigation or restoration areas
 - Generally used on a temporary basis

- Ornamental / Decorative
 - Ornamental or decorative fencing may be considered in those instances where a higher level of design is desired, such as main trailheads located at parks or other district facilities

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- Safety railing
 - Typically used along boardwalks, top of retaining walls and steep slopes where the trail surface is 30 inches or more above ground surface
 - Minimum height of 42 inches
 - Openings in the railing must not exceed 4 inches in width
 - Where a cyclist's handlebar may come into contact with a fence or barrier, a smooth, 12 inch wide rub-rail should be installed at a height of three feet

4.7.6 Landscaping

Generally THPRD does not design or install landscaping as part of a trail project unless it relates to mitigation. However, in some situations trail projects and residential developments are combined that require aesthetic landscaping. Use of native and drought tolerant species should be considered whenever possible, especially in locations where irrigation is not provided.

- Locations
 - Typically located at trailheads and where separation is needed between the trail and other uses, such as roadways, sidewalks and pathways
 - Shall include native and drought tolerant plant species as appropriate, but may include ornamental plant species where irrigation is available
 - Trees to be planted no closer than 10 feet from the edge of trail surfacing
 - Shrubs to be planted no closer than 5 feet from the edge of trail surfacing
 - Groundcovers and grasses to be planted no closer than 3 feet from the edge of trail surfacing
 - Existing landscaping and trees must be protected and incorporated into trail development/enhancement whenever possible
- Ornamental grasses
 - Generally require minimal maintenance once established and are typically used in landscape buffers separating the trail from roadways and sidewalks
- Groundcovers
 - Generally require minimal maintenance once established and are typically used in landscape buffers separating the trail from roadways and sidewalks.
 - Typically used in areas where turf grass is not appropriate, such as on steep slopes, and landscape buffers separating the trail from roadways, or sidewalks.
- Shrubs
 - Consider native plant species along park boundaries, natural areas and other locations where buffers are needed

- Trees
 - Avoid the use of trees having excessive litter and debris
 - Consider a tree's ultimate size and growth habit to ensure proper placement for trail designs
 - Consider using root barrier in areas where existing trees are located closer than 10 feet to the edge of trail and/or when a large number of trees will be planted
 - Refer to the local jurisdiction street tree guidelines for trees to be planted along trails, sidewalks or rights of way
- Low maintenance guidelines
 - Avoid the use of plant species that produce excessive litter and debris, such as fruit, pods or cones
 - Avoid the use of plant species susceptible to wood rot, disease or limb breakage ("weak wooded") in areas of high trail use
 - Avoid siting plant species that overhang trails or have root systems that could impact trail surfaces

4.8 Bridges and Boardwalks

Bridges and boardwalks are structures that span over sensitive natural areas or inundated waterways to limit potential environmental impact. They are typically used when crossing small creeks and wetlands. Boardwalks range in length and can span as little as 10 feet or stretch for longer distances depending on site conditions. Bridges are used where greater lengths are required to span sensitive areas or when the objective is to reduce impacts to the floodplain.



Figure 4G – Typical bridge/boardwalk cross-section.

Bridges and boardwalks are commonly constructed of wood, steel or concrete with recycled plastic components. Wood is the most cost effective, versatile and relatively easy to install. Special consideration must be taken when using pressure treated lumber over waterways. While steel is a more expensive option, it can be purchased as a prefabricated kit, and can expand extensive lengths where other materials cannot. Modular concrete boardwalk systems are gaining popularity due to their low-impact installation methods and durability within wet areas. Recycled plastic is popular for its material durability, but is typically limited to non-bearing uses such as decking and handrails. Bridge and boardwalk designs must consider the intended use and be built from materials that is aesthetically and structurally appropriate.

4.8.1 Boardwalks

General considerations for the use of boardwalks include:

- Clear span width must be a minimum of 14 feet for regional trails and 12 feet for community trails. Wider widths are preferred in areas with higher anticipated use and whenever railings are used
- Use of a 6 inch curb rail is recommended. A 42 inch guardrail is required at locations where there is a 30 inch or greater elevation difference in the boardwalk surface and the ground/water surface below
- Design to structurally support 5 tons of capacity depending on emergency vehicle access and maintenance requirements
- Evaluate footing types to include uplift as well as loading consideration for flood events.
- Consult a structural engineer for member sizing, headwall and post footing design
- Give careful consideration to selection of decking material to minimize slippery conditions (see Table 3J below)
- Follow all local, state and federal permitting requirements where boardwalks are located within wetlands; construction in wetlands is subject to jurisdictional regulations

4.8.2 Bridges

Bridges are most often used to provide user access over natural features such as streams, creeks and wetlands, where a boardwalk is not an option. The type and size of bridges can vary widely depending on the trail location, site conditions and jurisdictional requirements.

The biggest factor in determining the width and load capacity for trail bridges, as well as boardwalks, is the project requirements and the maintenance program, including emergency/security access. A developed site and maintenance access determines trail widths and bridge/boardwalk capacity. The funding source is also a determining factor, since federally-funded trails must adhere to the most stringent design standards.

Below is a list of general guidelines for the design of bridges for future trail projects. Many of these considerations are also applicable to design of boardwalks.

- When constructing a federally funded project, design criteria for the width of bridges are established by AASHTO
 - Standard width: 14 feet, unless a design exception is granted
 - Standard for a 'live load' for pedestrian and bicycle bridges: 85 psf (pound per square foot), plus any additional vehicle loading when used by maintenance or emergency/security vehicles
 - For bridges greater than 10 feet wide, the vehicular design load is for an HS10 truck
 - Bridges must also be designed to resist lateral forces from wind and earthquake as described by AAHSTO

- Projects funded from other sources:
 - Bridge width for regional and community trails: 2 feet wider than the paved trail approaching the structure
 - In special situations, a design exception is required in order to allow the width of a bridge to match the width of the trail connecting to it. Refer to Section 3.3.3 above for additional information about design exceptions

- Vehicle-rated bridges will only be specified when they are justified for maintenance, emergency or security access. The justification will be dependent on the site and maintenance program. If determined to be used for vehicle access, a bridge should generally be able to support the weight of a light duty emergency vehicle

- A goal of the district is to reduce, restrict and limit the need for maintenance vehicle access over bridges by placing trash receptacles and other 'high maintenance' site amenities close to the main access points

- If maintenance or emergency/security staff need access to a site's interior, make sure the trail intersections have wide radii and gentle turning movements; i.e., no 90 degree turns or 'T' intersections

- Provide a minimum of one 8 foot wide trail to one end of a bridge or boardwalk for routine maintenance

- If site amenities or structures are in a site's interior and will require vehicle access for routine maintenance (e.g., play equipment, shelter, bridge/boardwalk, sport court, etc.) then a trail with adequate width and proper load capacity must be provided

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- Adjust maintenance service delivery measures and design the site to reduce vehicle trips or access into the site's interior
- Some sites may have reduced trail widths or surfacing modifications to meet the intent of the NRFP, which calls on staff to: “Plan, provide and manage appropriate maintenance access routes, where required, that minimize impacts to natural resource areas by designing them with minimal impervious surfaces and widths.”

4.8.3 Materials

The district has traditionally used natural wood for its bridges and boardwalks. Over the past several years, the use of recycled plastic lumber has been used in an effort to be more sustainable. Other materials may also prove to be useful, depending on site conditions, costs and other factors. The following matrix in Table 3J can be used to determine an appropriate surfacing treatment based on a variety of site characteristics. Please note that the following should also be used when determining surfacing materials for stairs or overlooks.

Table 4E. Bridge / Boardwalk Surfacing Matrix.

		Trail Conditions (3 = Better Suited / 1 = Lesser Suited)								
Trail Surfacing		Shaded Conditions	Sun Conditions	Vehicle Access	Active Use (jog/ bike)	ADA	Cost	Ease of Maintenance	Wetlands/ Water	Durability/ Sustainability
	IPE	1	3	TBD	1	3	1	3	3	3
	Treated Wood	2	2	2	2	3	3	2	1	2
	American Plastic Lumber	2	2	1	3	3	2	2	3	2
	Fiberglass Grating	3	2	1	2	2	1	3	3	2
	Metal Grating	3	3	1	2	2	1	3	3	2
	Concrete Slab	TBD								

As new and/or improved surfacing options become available, they should be evaluated in the same manner described in Table 3J. Consult the district’s sustainability policy prior to making decisions about surfacing materials.

4.9 Mid-Block Crossings

The following provides design guidance for roadway intersection treatments. The guidelines presented in this plan represent conceptual recommendations. Specific roadway intersection treatments should be based on further engineering analysis conducted by the respective jurisdictional agency.

The approach to designing crossings at mid-block locations depends on an evaluation of vehicular traffic, line of sight, trail traffic, use patterns, vehicle speed, road type, road width and other safety issues such as proximity to major attractions. When space is available, use of a median refuge island can improve user safety by providing pedestrians and bicyclists the space to perform a safe crossing.

Regardless of whether a mid-block crossing is non-signalized or signalized, the crossing should do the following:

- Be a safe distance (based on travel speeds and sight lines) from adjacent intersections and not interfere (or be interfered) with vehicle traffic flow
- Be located on flat topography to increase motorist visibility of the trail crossing
- Be as close to perpendicular (90 degrees) to the roadway as possible
- Use signage and striping to warn trail users of the upcoming roadway is strongly recommended
- Maintain clear sight lines between trail users and motorists by clearing or trimming vegetation obstructions
- Provide a center median refuge if the crossing is more than 75 feet from curb to curb or as directed by the agency with jurisdiction

When a proposed trail mid-block crossing is within approximately 300 feet of an existing signalized pedestrian crosswalk, the trail should be routed to it. This will avoid potential traffic signal operation problems and reduce motorist confusion. For this alignment to be effective, barriers, signage or offset trail alignments may be needed to direct trail users to the signalized crossing. If no pedestrian crossing exists at the signal, modifications may be required to accommodate a safe crossing.

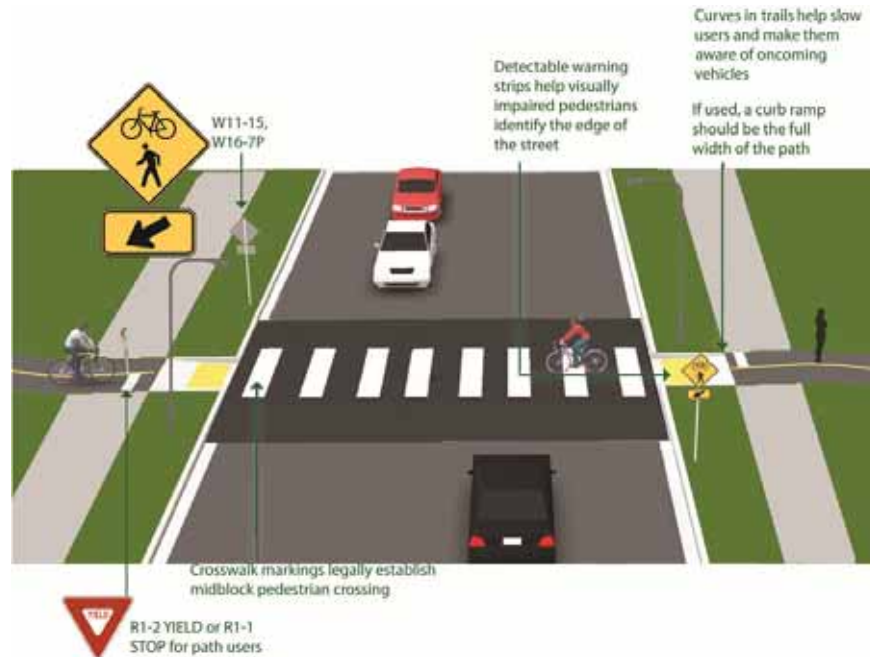


Figure 4H – Mid-block non-signalized trail crossing of a local/residential street.

4.9.1 Non-Signalized Crossings

Non-signalized crossings are most likely to occur at local/neighborhood roadways and some collector roadways. Non-signalized crossings may be appropriate when maximum traffic volumes are less than 9,000-12,000 ADT (average daily traffic) vehicles and maximum travel speed is 35 MPH (miles per hour). Non-signalized crossings may be appropriate with traffic volumes up to 15,000 ADT on two-lane roads and up to 12,000 ADT on four-lane roads, if a median refuge island is provided in both scenarios.

Typical treatments at these crossings include:

- Continental striping, if allowed by the agency with road jurisdiction
- Signage
- Sidewalk improvements, such as ADA transitional ramps
- Vehicle bollards at trail access points
- Street lighting
- Median refuge islands if appropriate
- Speed hump or raised crosswalk on roadways with low to moderate traffic volumes (under 12,000 ADT) and a need to control traffic speeds

Trail design features that may be used to warn trail users of an upcoming roadway crossing may include the following:

- Curves in the trail to help slow trail users and raise awareness of oncoming vehicles
- Detectable warning strips help visually impaired pedestrians identify the edge of the street
- Signage

4.9.2 Signalized Intersections

Signalized crossings are most likely to occur at arterial roadways and some collector roadways. There are different scales of signalization, depending on traffic capacity, speed and trail user volume.

A signalized intersection should include all of the same treatments as a non-signalized crossing, plus the addition of a traffic control device. The addition of a traffic control device, such as a traffic signal or flashing beacon, provides increased protection for trail users.

Typical traffic control devices used by the district, as approved by the City of Beaverton or Washington County, include the following:

- Rectangular Rapid Flashing Beacons (RRFB) act as lit warning devices to supplement the trail crossing warning signs at uncontrolled approaches
- Pedestrian Activated Hybrid Beacons (also known as HAWK signals) alert motorists to stop when trail users are crossing mid-block. When not activated, the signal is dark. When activated, the overhead signal begins flashing yellow, followed by solid yellow, advising motorists to prepare to stop. The signal then displays two solid reds allowing bicyclists and pedestrians to safely cross. Finally, an alternating flashing red signal indicates that motorists may proceed when safe, after coming to a full stop.
- Full Traffic Signal is a typical traffic signal with a green light always shown. When activated by a bicyclist or pedestrian, the light changes to yellow, then red; allowing the user to safely cross with a “Walk” indicator. Full traffic signal installations must meet MUTCD pedestrian standards for schools or modified warrants, which include: being located where a shared use path intersects with a high volume, high speed roadway, with traffic volumes exceeding 15,000 ADT and vehicle speeds exceeding 40 MPH.

Unlike non-signalized crossings of local or residential street, each signalized crossing (regardless of traffic speed or volume) requires additional review by a registered engineer and the agency having jurisdiction of the roadway to identify sight lines, potential impacts on traffic progression, timing with adjacent signals, capacity and safety.

4.9.3 Grade-Separated Crossings

Grade-separated crossings may be appropriate where a path intersects with a high volume, high speed roadway, with traffic volumes exceeding 25,000 ADT and vehicle speeds exceeding 45 MPH. Due to considerable cost and complexity of design, grade separated crossings are limited to unique situations and usually in partnership with a local jurisdiction.

Typical grade-separated crossings include:

- Undercrossing
- Overcrossing

Safety and ADA accessibility is a foremost concern with both types of crossings. In undercrossing situations, the trail user may be temporarily out of sight from public view or experience and environment with poor visibility. To ensure safety and security concerns are met, both types of crossings must be spacious, well-lit and visible to public view. Flooding and/or standing water may also pose a problem for undercrossings requiring the need for periodic cleaning and/or draining (especially after storm events for those undercrossings that may be located within greenways).

4.10 Risk, Safety and Security

4.10.1 Crime Prevention Through Environmental Design (CPTED)

Along with the desire of creating well-designed trails for its residents, the district is also intent on ensuring the safety and security of its trails and facilities. To help make this possible, the following fundamental CPTED principles should be considered.

- Access
 - Establishment of clearly defined trail entries and facilities for trail users to easily access and move about
 - Establishment of clearly defined trail boundaries to differentiate between public and private spaces
- Visibility
 - Maintain open sight lines throughout a trail corridor in order to promote natural surveillance and the “see and be seen” concept

4.10.2 Scan Analyze Response Assess (SARA)

SARA is a four-step process to quickly address situations that occur in the field, and is described as follows:

- Scan – observe what the situation is, to determine what possible factors are the cause
- Analyze – determine what possible solutions could be implemented to correct
- Response – implement solution

- Assess – evaluate if the solution corrected the situation or if additional measures need to be taken

4.10.3 Sight Distance

Maintaining adequate sight distance for trail users is key in providing a safe trail system. This includes ensuring visibility for (and of) trail users at mid-block crossing locations, steep slopes and switchbacks, tight curves, wooded areas and any other situation where sight lines could be impaired due to site conditions.

4.11 Maintenance & Operations

Maintenance operations of district trails fall into one of two categories: park maintenance or natural resources maintenance.

- Park maintenance is responsible for hard surface trails in order to provide safe and open access opportunities for people to recreate, travel, play and enjoy the outdoors
- Natural resources maintenance is responsible for soft surface trails in order to lessen human impacts and allow natural processes to continue, while providing safe passage for people where appropriate

Please refer to the district's PFP for additional information relating to park maintenance and the NRFP for additional information relating to natural resources maintenance. Trail maintenance operations fall into both categories and consist of the following:

4.11.1 Trail Management Program

THPRD's Natural Resources & Trails Management department administers the district's approved Trails Management Program. The goal of the Trails Management Program is to provide high quality trail systems that safely and sustainably connect people and communities. When the program is successful, these conditions will be met:

- Trails will meet safety standards
- Trail stakeholders, such as district departments and volunteers, will know their role
- Trail information will be available to the public

Trails management is a team effort, requiring the cooperation of multiple departments. The Natural Resources & Trail Management department has the lead role to coordinate the strengths of trained volunteers and the Maintenance Operations, Design & Development, Risk Management, and Security Operations departments to recognize and recommend physical and service improvements to our district's trail system. Please refer the program document for more detailed information about trails management.

4.11.2 Safety Inspection Training Program

As part of the Trails Management Program, the district uses a Safety Inspection Training Program. This program trains district staff to be aware and able to identify potential hazards along the trail system, such as overhanging tree limbs, deteriorating trail surfaces or substandard trail sections. These inspections are conducted annually and are prioritized accordingly. Those hazards posing immediate safety concerns to trail users are moved to the top of the list and addressed immediately. All other potential hazards are rated using a risk assessment matrix for future inclusion in the district's capital maintenance replacement program. The Trails Analysis Form is included in the Appendix for reference.

4.11.3 Maintenance Standards Manual

In addition to the district's Trails Management Program, additional standards and guidelines for trail maintenance can be found in THPRD's Maintenance Standards Manual. Please refer to this manual for district standards and guidelines related to trail maintenance practices. This manual is intended to work in tandem with the Trails Management Program and helps implement many of trail management principles.

4.11.4 Maintenance Vehicle Access Guidelines

In general, regional and community trails should be designed with maintenance and emergency vehicle access in mind. This includes not only the paved trail, but also any bridges or boardwalks along a trail corridor. However, not all bridges and boardwalks need to be vehicle rated if adequate access can be provided from either end of a bridge or boardwalk. Additional guidance can be found in Section 3.3.8.b above.

5. Implementation & Development / How We Get There

5.1 Prioritization Criteria for Trail Development

The 2006 Trails Master Plan established eight goals for the district's trail system:

- Providing recreation opportunities
- Trail development and regional connections
- Access
- Community linkages
- Amenities
- Maintenance and emergency access
- Preservation
- Funding

These eight goals provided the framework in the establishment of the prioritization criteria discussed in the next paragraph.

With the help of the Trails Advisory Committee and staff, selection criteria were developed to establish the framework for the trail prioritization criteria matrix, Table 4A below. The criteria were used to establish priority recommendations for new trails and upgrades to existing substandard trails. These priorities will be implemented by the district's board of directors through the annual budgeting process. Priorities will largely be set based on the funds that are available and applicable for each category (i.e. capital funding to be used for replacement projects on existing trails, site development changes used for new trail improvements).

The spring 2015 survey indicated that respondents believed the district should allocate its resources in the following order: 1) constructing new trails and 2) upgrading existing substandard trails. Although not specifically asked, it can be inferred that land acquisition for new trails should be a priority of the district because of the desire by survey respondents to see new trails constructed.

As such, there may be extenuating circumstances when land acquisition will take precedence to new trail development or enhancement. Land acquisition is often driven by market conditions, a property owner's willingness to sell, public or private partnerships and other factors. The district will continue to actively pursue land for trails in those areas where no service currently exist, including current and future service areas. In areas currently served, the district will be most interested in acquiring land that will fill gaps in or extend the existing trail network.

Table 5A represents thirteen prioritization criteria that will be used to determine how the district will use its resources for trail development, whether it is the enhancement of existing substandard trails or the development of new trails. In order to better prioritize trail projects

THPRD Trails Functional Plan

throughout the district, each criterion is weighted based on district policies and desired outcomes. As projects arise, they will be scored and placed in one of two priority areas. Projects scoring 30 or higher will be considered Tier I projects, or higher priority projects; projects scoring 29 or lower will be considered Tier II projects, or lower priority.

Table 5A – Trail Prioritization Criteria Matrix.

Criteria	Point Scale (3 = High / 1 = Low)		
	3	2	1
Citizen-Initiated Project Support	Generally Supported by Residents Adjacent to Trail	Generally Supported by the Community At-Large	Neutral or Generally Not Supported
Located in Environmental Justice Area* or CDBG Designated Area	Within a Significantly Above Average Area	Within an Above Average Area	Within an Average or Below Average Area
Located in an Underserved Area	No Trail Access (within 1-mile)	Limited Trail Access (within 1-mile)	Adequate Trail Access (within 1-mile)
Locational Proximity to Residents Served	Surrounded by In-District Residents	Partially Surrounded by In-District Residents	Surrounded by Out-of-District Residents
Number of Residents Served	More than 1,000	500 to 1,000	Less than 500
Overcomes Barriers	Major Improvement (off-street)	Moderate Improvement	Minor or No Improvement (on-street)
Potential for Access to Scenic / Natural Areas	More than 75% of the Trail Corridor	30% to 75% of the Trail Corridor	Less than 30% of the Trail Corridor
Property Ownership	District Owned (fee-simple or easement)	District Owned & Public Right of Way	Public Right of Way (on-street)
Proximity to Major Destinations / User Generators (parks, schools, transit, commercial centers, etc.)	Less than ½-Mile	½-Mile to 1-Mile	More than 1-Mile
Regional Benefits	Improves Access to Regional Areas of Interest	Improves Access to Local/Community Areas of Interest	Improves Access to Neighborhood Areas of Interest

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Criteria	Point Scale (3 = High / 1 = Low)		
	3	2	1
Trail Connectivity	Fills a Gap in the Trail System	Improves a Substandard Portion in the Trail System	Does Not Fill a Gap or Improve a Substandard Segment in the Trail System
Trail Ease of Implementation	Minor Site Work	Moderate Site Work	Major Site Work
Staff Judgment	Does this project make sense in this location? Does this project fill a specific need or service? How long has this area had an unmet need?		

**based on information produced by Metro*

It should be noted that much of the district’s future regional and community trail system is located within environmentally sensitive areas, such as creek corridors. These trail corridors have been identified on the 2015 Trail System Map (Figure 3C) as study areas, which mean they do not have a defined trail alignment at this time.

Instead, these study areas will be analyzed using both the Trail Prioritization Criteria Matrix above (Table 5A) and the district’s NRFPs Site Development Suitability Criteria (Table 5A of that plan) to determine an appropriate trail alignment. This could result in the recommendation that a trail, or portion of a trail, be located outside of the resource area (possibly as an on-street connection). Where the TFP trail prioritization criteria indicates a high priority for trail development and the NRFP site suitability criteria indicates a high priority for natural resource function, it shall be up to the district’s management team and/or board of directors to determine which priority takes precedence.

For those trail corridors located within an environmentally sensitive area but not identified on the trail system map in a study area, this same feasibility analysis will take place in order to determine the most appropriate trail alignment.

5.1.1 New Trail Construction

Prioritization of new trail development projects is based on the trail prioritization criteria identified in Table 4A. Prioritization also takes into consideration the district’s existing trail network as shown in Figure 3A. Tables 5B and 5C identify development priorities for future trails.

Table 5B – Tier I (High) Priority Projects.

THPRD Trails Functional Plan

Priority	Trail Name / Segment Number	Description
1	Beaverton Creek Trail #2	185 th Avenue to 170th Avenue
2	Waterhouse Trail #4	Willow Creek Greenway to Cornell Road
3	Beaverton Creek Trail #3 & #4	Westside Trail to Hocken Avenue
4	Beaverton Creek Trail #1	THPRD Boundary to 185 th Avenue

Table 5C – Tier II (Medium) Priority Projects.

Priority	Trail Name / Segment Number	Description
5	South Johnson Creek Trail #5	Lowami Hart Woods to Brookhaven Park
6	Westside Trail #12 – #14	Merlo Light Rail Station to Sunset Highway
7	Westside Trail #15 – #19	Sunset Highway to THPRD Boundary
8	Beaverton Creek Trail #3	170 th Avenue to Westside Trail
9	Cedar Mill Creek Trail #4	114 th Avenue to Foege Park
10	Westside Trail	Sunset Highway Crossing
11	Fanno Creek Trail #5	Scholls Ferry Road to 92 nd Avenue
12	All remaining trail segments to be determined	

5.1.2 Existing Trail Enhancements

Prioritization of enhancement trail projects is based on the trail prioritization criteria found in Table 5A. Prioritization also takes into consideration the district’s existing trail network as shown in Figure 3A. In many cases, these represent trails that are narrower than district recommendations or have bridges or boardwalks that are narrower than the trail approaches. In either case, these scenarios cause pinch points along the trail system, increasing safety concerns and decreasing trail functionality for trail users. Tables 5D and 5E highlight enhancement priorities for existing trails.

Table 5D – Tier I (High) Priority Projects.

Priority	Trail Name / Segment Number	Description
1	Waterhouse Trail #6	Jocelyn Drive to West Union Road

Table 5E – Tier II (Medium) Priority Projects.

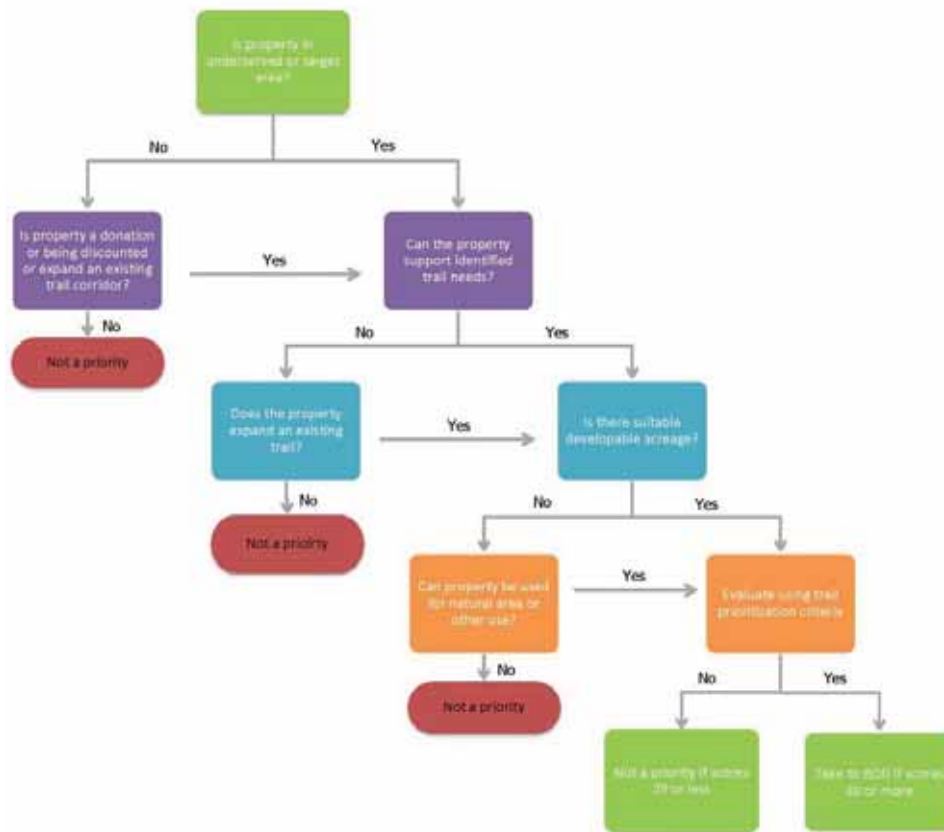
Priority	Trail Name / Segment Number	Description
2	Westside Trail #5	Rigert Road to Hart Road
3	Westside Trail #2 – #4	Scholls Ferry Road to Nora Road
4	Westside Trail #6	Hart Road to Burntwood Way

Priority	Trail Name / Segment Number	Description
5		All remaining trail segments to be determined

5.2 Land Acquisition / Right of Way

THPRD’s Planning and Design & Development departments use its *Acquisition Parameters Guide*, which outlines how the district acquires properties. This includes land acquired as fee simple, easements and donations. As part of its due diligence, the district uses an extensive process of inventorying potential properties for acquisition. This process is highlighted in the following illustration (Figure 5A) and helps to determine site suitability for trail development. This process, initially created and used as part of the 2008 bond measure land acquisition strategy, has been updated to include the trail prioritization criteria outlined in the above.

Figure 5A – Land Acquisition Site Suitability Flow Chart.



In addition to the flow chart, a number of questions are also asked when determining acquisition and prioritization of potential trail sites. These include the following:

- Does it make sense to develop a trail at this location?

THPRD Trails Functional Plan

- Does this site fill a specific need or service?
- Is this a unique opportunity?
- Can the site fulfill its intended purpose?
- What are potential costs for future trail development (utilities & infrastructure, trail constructability, etc.)?
- Does it serve a multipurpose opportunity for a trail, park, natural area and/or athletic facility, or is it just a trail?
- Is it a key piece to expand an existing trail?

As opportunities arise, properties will be scored and placed in “high”, “medium,” or “low” suitability trail sites.

5.3 Funding Strategies

5.3.1 Capital Improvement Program (CIP)

The district’s capital improvement program (CIP) is a combination of deferred maintenance capital projects and SDC development projects. Additionally, the CIP takes into account the project priorities outlined above. Projects in the CIP are then funded through the district’s budgeting process with either general funds or SDC funds. Grants, partnerships, donations and volunteers may also be solicited to help fund projects identified in the CIP in an effort to maximize district resources.

5.3.1.a Property Tax / General Fund

The district’s primary funding source is property tax revenue. This revenue goes into the district’s general fund and is then allocated for capital projects and maintenance operations on an annual basis. This fund is typically prioritized toward capital replacements.

5.3.1.b System Development Charges / SDC Fund

The district’s main source of funding for new trail improvements comes from its system development charges (SDC) fund. Since 1997 the district has collected fees on new residential and commercial development occurring within its service area. These fees can only be used for new trail development or improvements to existing trails that expand capacity necessitated by new development. SDC funds cannot be used for capital replacement or maintenance purposes.

5.3.2 Developer SDC Credit Projects

In lieu of paying SDC fees at the time of development, developers may enter into a memorandum of understanding (MOU) to construct trail improvements for the amount of estimated SDC fees that would normally be charged. The MOU outlines specific trail

improvements to be constructed for which credit will be issued. The MOU also includes language to ensure that such trail improvements meet district design standards and guidelines.

5.3.3 Grants

Grant sources include private foundations, public agencies, such as the Oregon Parks and Recreation Department, the Oregon Department of Transportation, Metro, and other agencies. Grants can be used to acquire land, fund an entire trail development and/or just a portion of a trail, such as a bridge, signage or trailhead amenities. Grants can also be used for new trail development or enhancement of existing trails and facilities. The district will typically use SDC funds as a local match in order to leverage grant funds.

5.3.4 Donation / Volunteer / Partnership

In certain instances, trail improvements are donated to the district or provided to the district. This could include land, materials, products and/or labor for the construction or maintenance of trail improvements. In most instances, this occurs in conjunction with improvement projects of other public agencies, such as Metro, Washington County, Clean Water Services or the City of Beaverton. In some instances, trail improvements can come from private development or community groups seeking improvements of trail facilities in their neighborhoods.

5.3.5 Bond Funding

The district may pursue the issuance of bonds if approved by voters during a general or special election. Bond funds can be used for a variety of projects based on how the bond is crafted, including land acquisition, new trail development, redevelopment of existing trails, capital replacements or a combination of these items. Bond funds can be short-term or long-term, and can be used for specific projects or many different projects.

6. Success Monitoring / How Are We Doing

6.1 Performance Measures

Perhaps the simplest measures for gauging district progress are tracking:

- Number of master plans completed
- Miles of new trails constructed
- Number of capital replacement projects completed
- Miles of substandard trails enhanced

While the district will monitor these items, they cannot be stand-alone measurements as many factors can influence targeted outcomes. Budget constraints, shifts in priorities, environmental considerations and other such factors can impact the length of time to complete projects or acquire land.

Additional performance measures that can be used by the district include:

- Trail system completion
- Trail system connectivity
- Access and proximity to population
- Trail maintenance
- Trail user satisfaction
- Trail user profile
- Trail user counts

6.2 Monitoring Procedures

The district will use a variety of methods to monitor its successes, or shortfalls, in achieving its expectations. Monitoring of expectations will occur on an annual basis or a multi-year basis depending on outcomes being monitored. The following table identifies specific monitoring procedures to collect data on those performance measures listed above.

Table 6A – Performance Measures and Monitoring Procedures.

Performance Measure	Monitoring Procedure(s)	Additional Notes
System Completion	GIS evaluation	Maintain GIS database of trails to include attributes such as trail surface, trail width and date of construction
Trail System Connectivity	GIS-based model	Use GIS model developed through Rails to Trails Conservancy Trail Modeling and Assessment Program (T-MAP) to inventory and analyze the district’s trail system in relation to regional and nationwide trail networks

Performance Measure	Monitoring Procedure(s)	Additional Notes
Access and proximity to population	GIS evaluation	Determine locations of access, quality of access using GIS to determine percentage of households or percentage of population within a half mile of accesses.
Trail Maintenance	Routine operations	Conduct systematic risk assessment (inspections of railings, bridges, surfaces, signage, etc.; evaluation and removal of debris; emergency response protocol; tracking of incidences and safety issues; vegetation control).
Trail Maintenance	Remedial operations	Correct significant defects (resurfacing, repainting, repairing, etc.)
User Profile/ Satisfaction	Survey	Gather data on type of use, amount of use, distance traveled, amount of money spent, where money is spent. Information can feed into an economic and health impact assessment. Multiple examples of these analyses can be found around the country and the T-MAP program is also developing these national tools that can be used here.
Counts	Field counts	Automated or manual calculation of AADT.

6.2.1 Short Term Monitoring

One of the easiest ways for the district to gauge whether it is improving its trail system is through its annual maintenance inspection process. Each year all district assets, including trails, are evaluated and placed into the deferred maintenance database. This database is used to help prioritize capital replacement projects during the budgeting process. As replacement projects occur, including updates to trail facilities and amenities, these items can be tracked against the trail inventory completed in spring 2015.

Trail user surveys are another way the district can monitor whether or not expectations are being met or if access to trails is improving. Although these types of surveys are not scientific or statistically valid, they do provide a method of getting immediate feedback from the people on the trails. Analysis of trail counts is another method for tracking trail usage and can often reinforce information gathered from user surveys and inspections.

6.2.2 Long Term Monitoring

Because projects such as master plans, new trail development, and existing trail enhancement often take more than one year to complete, it is more effective to monitor for success on a 3-5 year basis. Tracking projects identified in the district’s annual budget is one of the easiest ways to track progress, comparing projects completed on time versus those that get delayed or eliminated.

THPRD Trails Functional Plan

Trail user profiles, and access to user populations, and other demographic information are also better gauged on a long-term basis. These types of analysis tend to be more useful in ensuring all residents have access to the trail system as well as reinforcing the positive benefits trails provide to the community.

7. Appendix

7.1 2015 Trail System Map (11 inch by 17 inch format)

7.2 Trail Details

7.2.1 Site Furnishings

- Standard bench detail
- Standard trash receptacle detail
- Doggie bag dispenser detail
- Trailhead kiosk detail

7.2.2 Bollards

- Permanent bollard detail
- Removable bollard detail
- Collapsible bollard detail
- Boulder detail

7.2.3 Signage

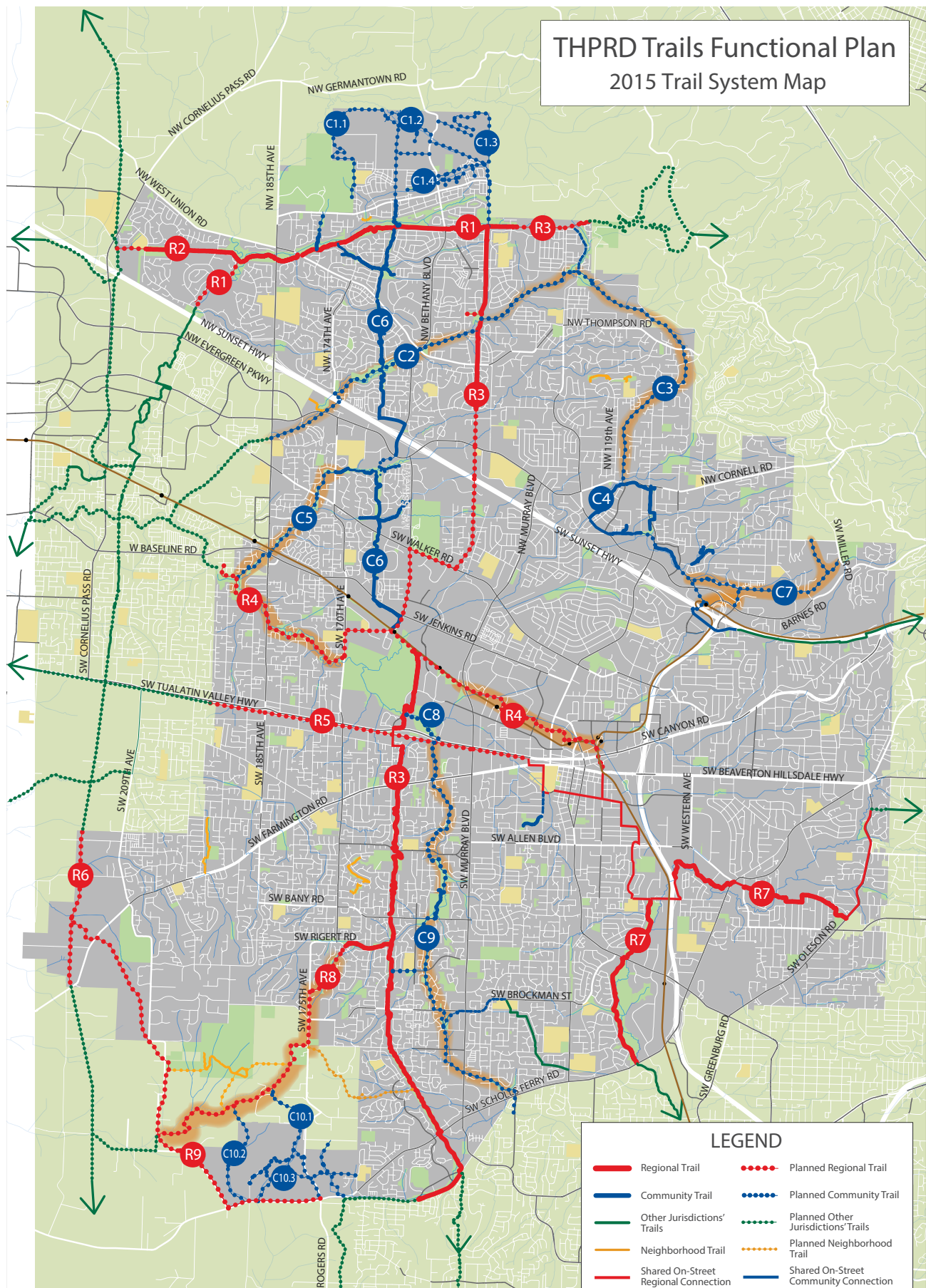
- Wayfinding signage details

7.2.4 Fencing

- Split-rail fence detail
- Chain-link fence detail
- Safety railing detail

7.3 Trail Counts 2010 – 2015

THPRD Trails Functional Plan 2015 Trail System Map



Regional Trails		Community Trails			
R1	Rock Creek Trail	C1.1	North Bethany Trail	C6	Waterhouse Trail
R2	Crescent Park Trail	C1.2	Bethany Creek Trail #1	C7	North Johnson Creek Trail
R3	Westside Trail	C1.3	Bethany Creek Trail #2	C8	Beaverton Wetlands Trail
R4	Beaverton Creek Trail	C1.4	Bethany Creek Trail #3	C9	South Johnson Creek Trail
R5	Tualatin Valley Trail	C2	Bronson Creek Trail	C10.1	South Cooper Mt. Trail #1
R6	Reedville Trail	C3	Bonny Slope West Trail	C10.2	South Cooper Mt. Trail #2
R7	Fanno Creek Trail	C4	Cedar Mill Creek Trail	C10.3	South Cooper Mt. Trail #3
R8	McKernan Creek Trail	C5	Willow Creek Trail		
R9	South Cooper Loop Trail				

LEGEND

- Regional Trail
- Community Trail
- Other Jurisdictions' Trails
- Neighborhood Trail
- - - Shared On-Street Regional Connection
- - - Shared On-Street Community Connection
- Bike Lane
- Trail Study Area Alignment TBD
- Future and Current Park District Boundary
- - - Planned Regional Trail
- - - Planned Community Trail
- - - Planned Other Jurisdictions' Trails
- - - Planned Neighborhood Trail
- Shared On-Street Community Connection
- MAX/WES
- Schools
- Parks

0 0.25 0.5 0.75 1 Miles

Map Created July 16, 2015
Data Source: THPRD and Metro



MEMO

DATE: July 27, 2015
 TO: The Board of Directors
 FROM: Doug Menke, General Manager

RE: **General Manager's Report for August 10, 2015**

Synthetic Turf Sole Source & Infill Report Updates

At the March 3, 2015 regular board meeting, the board of directors approved the findings outlined in ORS 279.C.335 to exempt from competitive bidding the selection and installation of a synthetic turf product for upcoming projects within the next five years. With this direction, staff advertised a Request for Proposal (RFP) on July 1 and 8, 2015. To date, staff has been contacted by five suppliers who have stated their interest and requested a copy of the RFP. The proposals are due on July 30, 2015. Staff anticipates the proposal review and selection of a synthetic turf supplier to be completed by the end of August. THPRD's first upcoming synthetic turf field associated with the RFP is Conestoga Middle School in summer 2016. The RFP required that proposals provide three options for infill material: traditional crumb rubber, an alternative crumb rubber material, and an owner-provided infill option.

At the direction of the board, staff have also been reviewing and researching synthetic turf infill options, as well as recent health concerns with infill materials. Staff has found numerous third-party studies related to this subject matter and are developing a summary report explaining our findings. It is staff's intent to release a draft report to the board this summer for their initial reaction and feedback, followed by a presentation at the October 5, 2015 regular board meeting, at which staff will seek board input on future synthetic turf infill options.

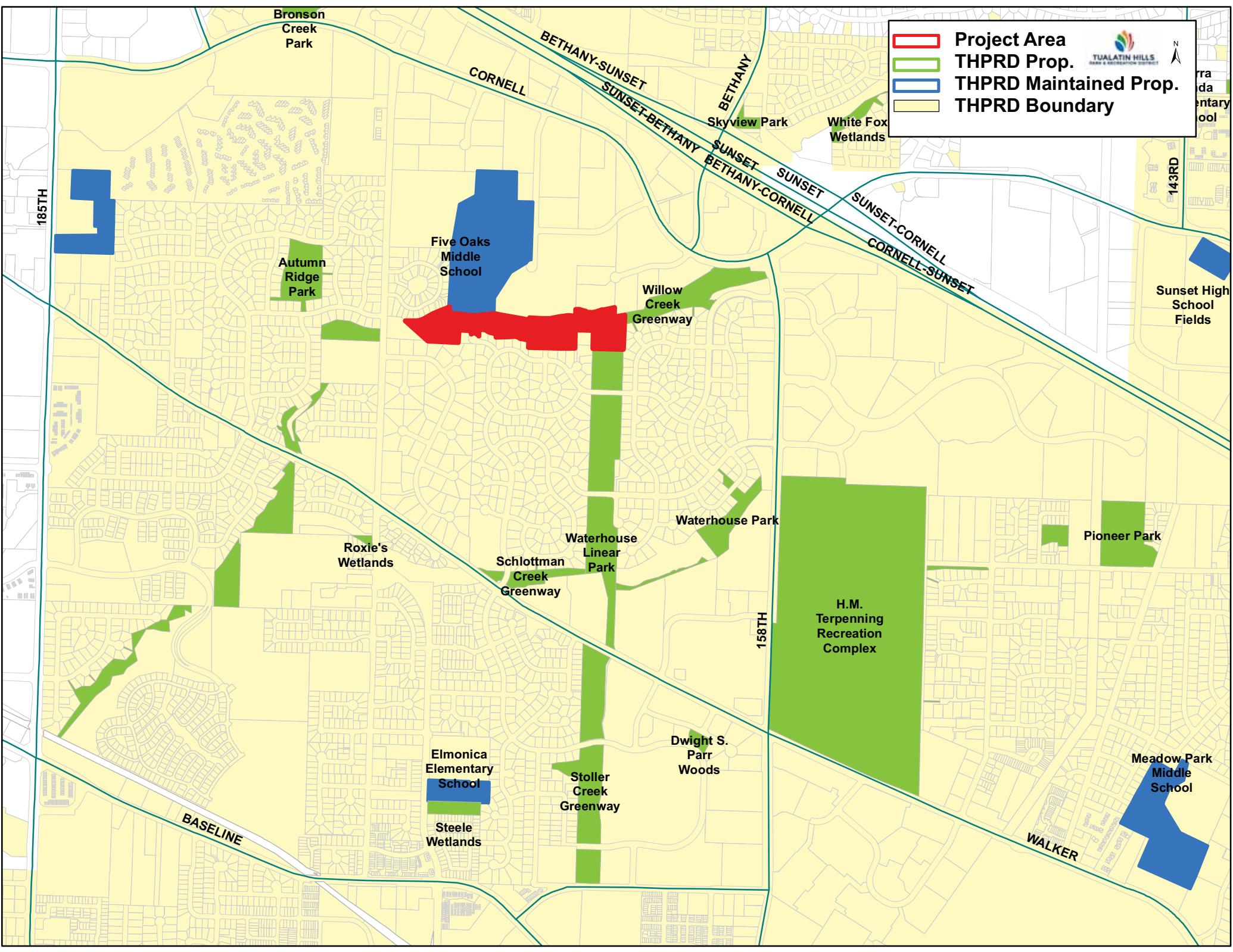
Willow Creek Greenway Nature in Neighborhoods Grant Application


Natural Resources staff wrote a Nature in Neighborhoods grant application to conduct habitat restoration along 10 acres of the Willow Creek Greenway between NW 173rd and NW 158th Avenues. This phase would cover work beyond the area the bond funded. The project aims to increase the diversity of native trees and shrubs, while reducing non-native weeds. The increased diversity of plants would be a boon to native frogs and salamanders in the area. Staff anticipates partnering with teachers from Five Oaks Middle School, the Neighborhood Association Committee, and Parsons Brinkerhoff, a private company that has been volunteering in the area. Patrons would be involved through visits by the Nature Mobile, hands-on volunteering, and information provided to neighborhood groups. Staff requested \$25,000 from the grant program with a total project budget of \$52,000. Metro will announce awards in late August. Photos and a map of the project area are attached.





Board of Directors Meeting Schedule


The following dates are proposed for the board meeting schedule through the end of the year:

- September Regular Board Meeting – No Meeting Scheduled
- October Regular Board Meeting – Monday, October 5
- November Regular Board Meeting – Monday, November 2
- December Regular Board Meeting – Monday, December 7



 TUALATIN HILLS
MADE & BOUND BY NATURE

-  Project Area
-  THPRD Prop.
-  THPRD Maintained Prop.
-  THPRD Boundary



Bronson
Creek
Park

Five Oaks
Middle
School

Autumn
Ridge
Park

Willow
Creek
Greenway

Roxie's
Wetlands

Schlottman
Creek
Greenway

Waterhouse
Linear
Park

Waterhouse Park

Pioneer Park

H.M.
Terpenning
Recreation
Complex

Elmonica
Elementary
School

Dwight S.
Parr
Woods

Stoller
Creek
Greenway

Steele
Wetlands

Meadow Park
Middle
School

BASELINE

WALKER

185TH

158TH

143RD

Sunset High
School
Fields

CORNELL

BETHANY-SUNSET

BETHANY

SUNSET-BETHANY

SUNSET

SUNSET-CORNELL

CORNELL-SUNSET

Tualatin Hills
Elementary School

- Trail
- Willow Creek
- Project Area
- THPRD Prop.
- THPRD Maintained Prop.



Willow Creek Greenway

1. Current conditions in project area. Variety of native and non-native trees, reed canarygrass.
2. Area on site with amphibian-friendly vegetation/structure.
3. Example of traveling Nature Mobile program.
4. Volunteers have removed non-native plants in specific areas of the greenway.





MEMO

DATE: July 31, 2015
TO: Doug Menke, General Manager
FROM: Bob Wayt, Director of Communications & Outreach

RE: Resolution Renaming Hideaway Park to Babette Horenstein Memorial Park

Introduction

District staff propose that Hideaway Park be renamed Babette Horenstein Memorial Park in honor of the longtime THPRD board member and community volunteer who passed away in late 2013 at the age of 81. This recommendation follows extensive public outreach to park neighbors. It would be consistent with District Compiled Policies (DCP) 8.05, Naming of District Property.

Background

Hideaway Park is located adjacent to Oleson Road, between SW Miles Court & SW Canby Street in the Garden Home area (see attached maps). When Mrs. Horenstein was a young mother and living in the Garden Home area, she frequently took her children to Hideaway Park to play. It created lasting memories for the family, and renaming the park for her would commemorate both those positive experiences and Mrs. Horenstein's legacy of community service. Mrs. Horenstein's family requested Hideaway Park in particular, for these reasons.

Mrs. Horenstein's relationship with THPRD began in 1974, when she was asked to assist with a bond measure campaign. The measure was successful, providing funds for development of the district's main recreation complex at SW 158th Avenue and Walker Road in Beaverton. She served on various district advisory committees before being elected to the board of directors in 1977, serving until 1993. During Mrs. Horenstein's impressive tenure on the board, 83 park sites were added for the public's enjoyment. Her remarkable record of community service also included stints on the Beaverton School District Board, Raleigh Hills Water District Board, Washington County Visitors Association Board, Tualatin Hills Park Foundation Board, and other affiliations.

The proposal to rename Hideaway Park in Mrs. Horenstein's honor has been communicated to park neighbors in a variety of ways:

- Letters to leadership of the Arranmore Homeowners Association, CPO 3, Denney Whitford/ Raleigh West NAC, and a THPRD presentation at the June 18 CPO 3 meeting.
- Direct-mail letters to all residents within 1,000 feet of Hideaway Park.
- Signage in the park itself.
- Posting on the THPRD website.

All of these communications included the opportunity to provide comments and to ask questions. Most of the comments received fell into one of three categories: costs related to the proposed change; familiarity among friends and neighbors with the Hideaway Park name; or the fact the park is the only geographical name marker for the area. A copy of the comments received will be provided at the board member's places at the August 10 meeting.

DCP 8.05, Naming of District Property, states:

It is District Policy to name or rename District properties so as to best serve the interests of the District and its residents and ensure a worthy and enduring legacy for the District's park and recreation system. To this end, the District supports consideration of naming and renaming requests within the following broad categories:

1. *Historic Events, People and Places*
2. *Outstanding Individuals*
3. *Donors*

In consideration of this policy and the significant contributions Mrs. Horenstein made during her life, THPRD staff believe it is appropriate for the district to honor her with the renaming of Hideaway Park to Babette Horenstein Memorial Park.

Proposal Request

The attached resolution calling for this name change has been reviewed and approved by district legal counsel.

Benefits of Proposal

Renaming the park for Mrs. Horenstein would be an enduring tribute to one of THPRD's greatest citizens. It would also be consistent with the wishes of her family.

Potential Downside of Proposal

Some park neighbors dislike the idea of a name change. This sentiment seems to be most prevalent among neighbors who have lived near the park for many years.

Maintenance Impact

None, other than installation of new signs for which the cost is estimated to be \$391.

Action Requested

Board of directors' approval of Resolution 2015-15, Renaming Hideaway Park to Babette Horenstein Memorial Park.

RESOLUTION 2015-15

**A RESOLUTION OF THE TUALATIN HILLS PARK & RECREATION
BOARD OF DIRECTORS RENAMING HIDEAWAY PARK
TO BABETTE HORENSTEIN MEMORIAL PARK**

WHEREAS, the Tualatin Hills Park & Recreation District (District) Board adopted District Compiled Policies (DCP) to guide its consideration of various District operational matters including the renaming of District-owned properties.

WHEREAS, the District was recently presented a proposal to rename “Hideaway Park” to “Babette Horenstein Memorial Park” in order to honor a long-serving District Board member and Washington County community volunteer.

WHEREAS, consistent with DCP 8.05(C), the Manager evaluated the proposal and found it consistent with DCP 8.05(B)(2) inasmuch as renaming the park acknowledges Babette Horenstein’s contributions to the District in the development of its park and recreation system between 1974 and 1993.

NOW THEREFORE, based on the foregoing, the Tualatin Hills Park and Recreation District hereby resolve as follows:

- Section 1.** That Hideaway Park is to be renamed Babette Horenstein Memorial Park and the General Manager and staff are to take such steps as are deemed by them as necessary to effect said name change in a timely manner.
- Section 2.** That this resolution is and shall be effective from and after its passage by the Board.

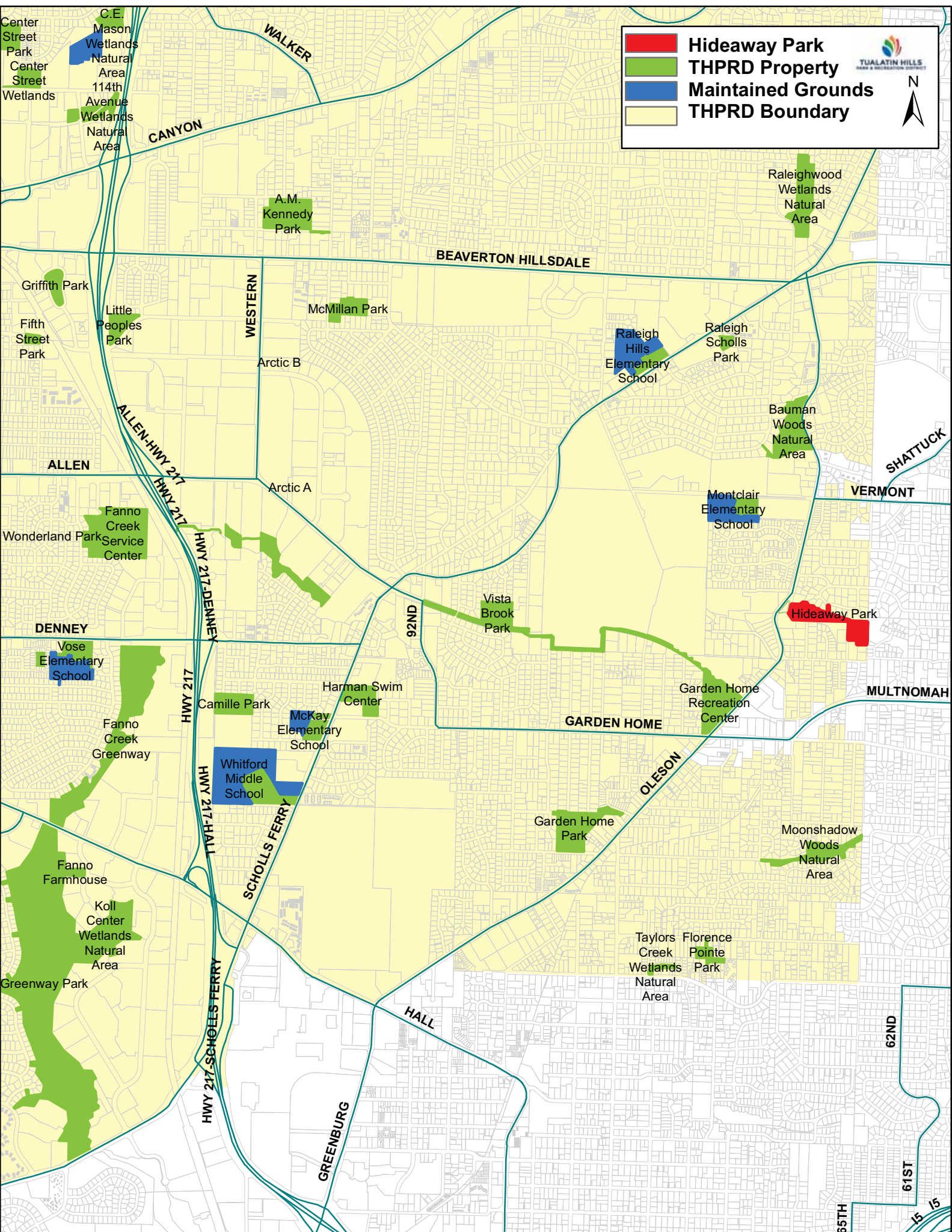
Approved and adopted on August 10, 2015 by the Board of Directors of the Tualatin Hills Park & Recreation District.

Larry Pelatt, President

Jerry Jones Jr., Secretary

ATTEST:

Jessica Collins, Recording Secretary



Hideaway Park
THPRD Property
Maintained Grounds
THPRD Boundary

TUALATIN HILLS
Water & Sewer Services Dept.

N

Center Street Park
Center Street Wetlands

C.E. Mason Wetlands
Natural Area
114th Avenue Wetlands
Natural Area

CANYON

WALKER

WESTERN

BEAVERTON HILLSDALE

Raleighwood Wetlands
Natural Area

Arctic B

McMillan Park

Raleigh Hills Elementary School

Raleigh Scholls Park

Bauman Woods Natural Area

SHATTUCK

VERMONT

Allen-Hwy 217 Hwy 217

Allen-Hwy 217 Hwy 217

HWY 217 DENNEY

HWY 217

HWY 217 HALL

HWY 217 STEELS FERRY

SCHOLLS FERRY

92ND

Vista Brook Park

Hideaway Park

MULTNOMAH

DENNEY

Vose Elementary School

Fanno Creek Greenway

Harman Swim Center

Garden Home Recreation Center

GARDEN HOME

Whitford Middle School

McKay Elementary School

OLESON

Garden Home Park

Moonshadow Woods Natural Area

Fanno Farmhouse

Koll Center Wetlands Natural Area

Greenway Park

HALL

GREENBURG

Taylor's Florence Creek Pointe Wetlands Park Natural Area

65TH

62ND

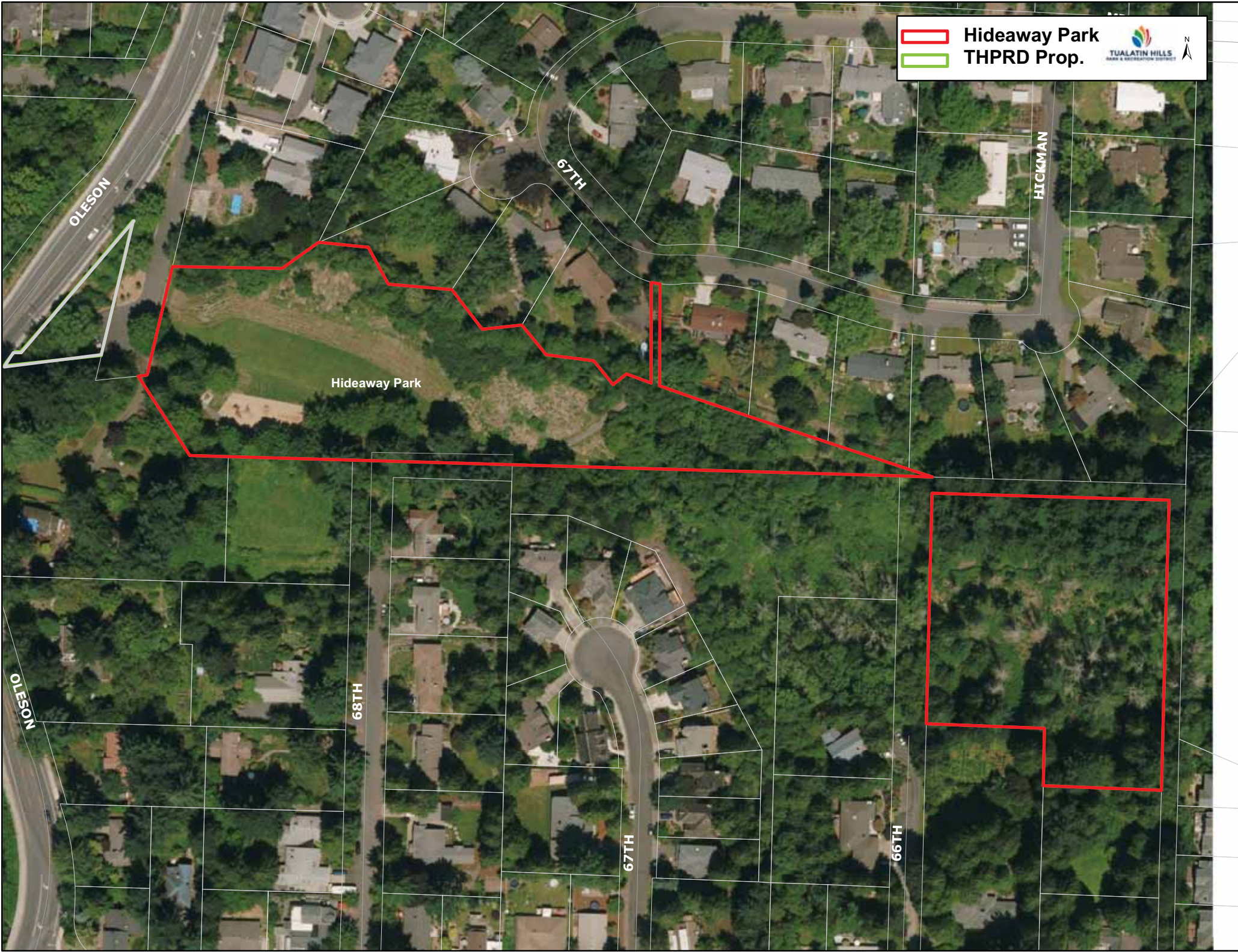
61ST

15 15

 Hideaway Park
 THPRD Prop.

 TUALATIN HILLS
PARK & RECREATION DISTRICT

 N



Hideaway Park

OLESON

67TH

HICKMAN

OLESON

68TH

67TH

66TH



MEMO

DATE: July 27, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities
RE: Recommended Goal Outcomes for Fiscal Year 2016/17 Planning and Budgeting

Introduction

A priority list of performance measures for fiscal year 2016/17, with associated goal outcomes, has been compiled for the board of directors' consideration. Staff requests that the board adopt the goal outcomes as the priority measures to use in the planning and budgeting process for FY 2016/17.

Background

On August 8, 2011, the board of directors adopted 24 goal outcomes with 52 performance measures for use in the FY 2012/13 planning and budgeting process. Staff used these goal outcomes in the budget development process for that year by creating business plans to address the goal outcomes. Those business plans that most cost-effectively addressed the goal outcomes were funded in the Adopted Budget FY 2012/13. One additional goal outcome was added for FY 2013/14 budget development and those same goal outcomes were adopted for the FY 2014/15 budget development as the 2013 Strategic Plan update and the Service and Financial Sustainability Plan (SFSP) were being developed.

On September 22, 2014, the board adopted a new set of goal outcomes based on the work of the 2013 Strategic Plan update and the Service and Financial Sustainability Plan (SFSP). The approval of the Strategic Plan on December 9, 2013 changed, modified or deleted many of the objectives from the original 2006 Comprehensive Plan. The goal outcomes for FY 2015/16 reflected this update and these new objectives are the primary driver of the goal outcomes, and resulted in 22 measures being archived and 29 measures being added.

With the close of FY 2014/15, a preliminary measure of goal performance for that fiscal year is possible, and the preliminary measures are reflected in the attached Exhibit A. A final evaluation of the year-end progress of the FY 2014/15 goal outcomes and an update of the in-progress FY 2015/16 business plans will accompany the midyear budget update.

Proposal Request

The attached list of goal outcomes, Exhibit A, includes the staff recommendations for priority goal outcomes for FY 2016/17 budget preparation. The goal outcome sheet shows each recommended priority measure with actual results for FY 2011/12, FY 2012/13, FY 2013/14 as well as preliminary results for FY 2014/15, where available. In many cases, the new or modified goal outcomes require a new way of tracking operational data and data collection systems that

need to be developed then tracked. Business plan proposals for this year may include developing the systems and operational changes necessary to monitor these outcomes.

Significant modifications from last year's goal outcomes include the archiving of five measures, modification of outcomes under Goal 7 due to the completion of the marketing plan, and the calculation of the cost recovery methodology for the district based on the FY 2015/16 budget process. Additional information on the cost recovery calculation is included in Exhibits B and C.

Three of the functional plans (Natural Resources, Parks, and Programs) have been adopted by the board and the proposed goal outcomes have been modified to reflect these. Two functional plan teams (Trails and Athletic Facilities) are currently underway. Once the board has adopted the finalized plans, the results will be incorporated into future goal outcomes and performance measurements.

Benefits of Proposal


Board adoption of the priority goal outcomes ensures that the district allocates its limited resources to those projects and business plans that directly impact the Strategic Plan goals and Service and Financial Sustainability Plan objectives included in the proposal. This will allow the interdepartmental Business Plan Teams ample time to develop proposals for budget appropriation for FY 2016/17, which will ensure that district funding allocated according to the board of directors' priority measures. Attaching specific metrics to the outcomes aids in the evaluation of the effectiveness of the business plans in achieving the objective and/or goal and will allow further refinement of the process in future fiscal years.

Potential Downside of Proposal

Approval of the proposed goal outcomes by the board of directors will result in a higher ranking for business plans that impact these measures. Projects that fall outside this scope will, potentially, have to wait for a subsequent cycle for funding consideration.

Action Requested

Board of directors' approval of the goal outcomes for priority performance metrics for use in the fiscal year 2016/17 planning and budgeting process.

		FY 2016-17 THPRD Goal Outcomes							
Strategic Plan Goal / Objective	Service and Financial Sustainability Analysis Objective	2011-12 (PY Service Level)	2012-13 (PY Service Level)	Final 2013-14 (PY Service Level)	2014-15 Goal Outcome (Current Serv Level)	2015-16 Goal Outcome (Current Serv Level)	Basis of Measurement	2016-17 Goal Proposed Outcome (Target)	
Color Key: PURPLE= New Objective/Action GREEN = Updated									
Goal 1. Quality, Accessible Parks									
Primary Measures:									
Provide quality neighborhood and community parks that are readily accessible to residents through the District's service Area		N/A	N/A	75	82	maintain	Average GRASP Score	maintain	
		N/A	N/A	1%	1%	decrease	% of district below service threshold (74.7)	decrease	
Secondary Measures:									
1.E – Address walkable level of service in areas where services is currently below the threshold and areas that are not currently served.		N/A	N/A	25%	TBD	decrease	% of district that is identified walkable access below service threshold	decrease	
Goal 2. Recreational Programs and Facilities									
Primary Measures:									
Provide quality sports and recreation facilities and programs for park district residents and workers of all ages, cultural backgrounds, abilities and income levels.	9 – Implement provision strategies identified through the Service Assessment.	402.87	388.62	377.45	374.12	maintain	Program Registrants / 1,000 population Demographic % served as compared to total population *	maintain	
	10 – Explore a systematic approach to and strategies for advancing or affirming market position for identified services.								
Secondary Measures:									
2.A - Provide a variety of programs at recreation centers to address the needs of all user groups, including children, teens, adults, seniors, ethnic and minority residents, and persons with disabilities: provide programs and services that meet the needs of people of all incomes.	10.A - THPRD will advance market position of identified services through increased marketing efforts.	161.0%	163.8%	159.9%	162.7%	maintain	Aggregate registration as % of aggregate class minimums	maintain	
		N/A	N/A	N/A	TBD	increase	# of participant hours with Patrons	increase	
	10.C - THPRD will consider strategies to deal with waiting lists on services which are at or near capacity and are determined to advance the market position.	N/A	N/A	N/A	N/A	TBD	decrease	% of classes cancelled by THPRD	decrease
		17.6%	17.6%	18.0%	16.6%	decrease	% of registrations the are dropped/credited (as a % of revenue)	decrease	
2.B - Ensure that access to park district facilities for people with disabilities is consistent with the Americans with Disabilities Act (ADA).		N/A	N/A	N/A	TBD	N/A	% of existing facilities not meeting ADA guidelines	decrease	
2.D - Conduct a field capacity analysis for peak times.	10.A - THPRD will advance market position of identified services through increased marketing efforts. - Advance field rentals and facility rentals at most locations	84%	81%	82%	85%	increase	% field use hours used v. allocated	increase	
* Population measures updated per the park reclassification project, proximity measures determined by GIS mapping									



FY 2016-17 THPRD Goal Outcomes

Strategic Plan Goal / Objective	Service and Financial Sustainability Analysis Objective	2011-12 (PY Service Level)	2012-13 (PY Service Level)	Final 2013-14 (PY Service Level)	2014-15 Goal Outcome (Current Serv Level)	2015-16 Goal Outcome (Current Serv Level)	Basis of Measurement	2016-17 Goal Proposed Outcome (Target)	
Goal 3. Maintenance and Operations									
Primary Measures:									
Operate and maintain parks in an efficient Safe and cost effective manner, while maintaining high standards.		N/A	N/A	N/A	TBD	maintain	Park and building maintenance scoring relative to standards (Patron satisfaction metric to be determined)	maintain	
Secondary Measures:									
3.A - Continue to improve the efficiency and cost effectiveness of maintenance operations, including reducing costs associated with the transportation of personnel and equipment.	14.A - THPRD will review internal management practices and evaluate cost savings measures.	\$6.83	\$6.52	\$6.85	\$6.85	maintain	Cost/Square foot building maintained	maintain	
		\$16.19	\$16.15	\$16.81	\$16.72	maintain	Cost/Square foot pool maintained	maintain	
		\$0.15	\$0.22	\$0.22	\$0.17	maintain	Fuel Cost/mile traveled	maintain	
		\$0.15	\$0.22	\$0.23	\$0.20	decrease	Fuel Cost/mile traveled (indexed for fuel cost)	decrease	
		398	372	374	384	decrease	Vehicle miles traveled/developed acre	maintain	
		\$135.21	\$190.56	\$190.67	\$141.52	maintain	Fuel Cost/developed acre	maintain	
			\$135.21	\$194.69	\$199.85	\$171.92	decrease	Fuel costs/developed acre (indexed)	decrease
	15.A - THPRD will continue to maintain a current rolling 10-year capital lifecycle repair and replacement list of the physical assets of THPRD		\$17,934,668	\$16,722,068	\$15,874,539	\$15,818,039	decrease	5-year balance*	decrease
			\$31,100,236	\$29,565,636	\$29,640,333	\$29,941,383	decrease	10-year balance*	decrease
			N/A	N/A	N/A	\$37,876,854	decrease	Deferred maintenance and sinking fund liability balance (major replacements only)	decrease
* Replacement balance (includes deferred replacement backlog plus projected future replacements:									
Goal 4. Natural Areas									
Primary Measures:									
Acquire, conserve and enhance natural areas and open spaces within the district.		N/A	% Sites Estimated as Meeting Target: Low= 92% Med= 54% High= 40%	N/A	N/A	increase	Sites categorized & assessed by low-medium-high % native cover by acre. Targets established as follows: Low > 40% native ground cover Medium > 60% native ground cover High > 80% native ground cover	Increase	
		N/A	N/A	N/A	N/A	N/A	# of natural acres	Increase	
Secondary Measures:									
4.C - Use park district facilities and programs, as well as partnerships with schools and other agencies to increase the public's understanding of natural processes, wildlife, and habitats.	9 – Implement provision strategies identified through the Service Assessment.	67,940	79,668	78,597	77,810	increase	# NR education participant hours	increase	
	10 – Explore a systematic approach to and strategies for advancing or affirming market position for identified services.								



FY 2016-17 THPRD Goal Outcomes

Strategic Plan Goal / Objective	Service and Financial Sustainability Analysis Objective	2011-12 (PY Service Level)	2012-13 (PY Service Level)	Final 2013-14 (PY Service Level)	2014-15 Goal Outcome (Current Serv Level)	2015-16 Goal Outcome (Current Serv Level)	Basis of Measurement	2016-17 Goal Proposed Outcome (Target)	
Goal 5. System of Connected Trails									
Primary Measures:									
Develop and maintain a core system of regional trails, complemented by an interconnected system of community and neighborhood trails, to provide a variety of recreational opportunities, such as walking, bicycling and jogging.		N/A	N/A	60	60	Decrease	# of trailsheds in the district	Decrease	
Secondary Measures:									
5.B - Continue to link trails to parks, neighborhoods, community facilities such as libraries, civic and community centers, parks, schools, other athletic facilities and shopping areas.		23.33	24.37	26.44	27.33	increase	# Total trail miles (regional & community)	increase	
		14 of 42 complete	16 of 42 complete	16 of 42 complete	16 of 42 complete	increase	# of Regional Trail Segments Completed:	increase	
		11 of 54 complete	12 of 54 complete	15 of 54 complete	16 of 54 complete	increase	# of Community Trail Segments Completed:	increase	
Goal 6. Efficient Service Delivery									
Primary Measures:									
Provide value and efficient service delivery for taxpayers, patrons and others who help fund park district activities.	17 - Ensure long-term sustainability by focusing taxpayer funding on those services that produce the widest community benefit, using a cost recovery pyramid.	N/A	N/A	N/A	TBD	increase	% Classes with fee at cost recovery target	increase	
		N/A	N/A	N/A	52%	increase	Districtwide - Program revenues as a % of revenue needed to meet cost recovery target	increase	
Secondary Measures:									
6.B - Continue to pursue partnerships in land acquisition, facility development, programming, marketing, maintenance and other activities with partnering service providers.	17.C - THPRD will review all independent contract agreements in relation to THPRD costs and adjust to match the category of service level on the pyramid annually.	488	488	488	488	increase	Total # acres co-owned/maintained properties	increase	
		N/A	N/A	N/A	TBD	maintain	# of partnerships	maintain	
	18.A - THPRD will annually review all Intergovernmental Agreements (IGAs), Memorandums of Understanding (MOUs), rentals, and long-term Tenant Lease agreements to ensure compliance with cost recovery goals in relation to the direct cost to provide the service (the value) and the category of service level on the cost recovery pyramid.	N/A	N/A	N/A	N/A	TBD	increase	# of partnerships/IGAs evaluated for cost benefit	increase
		N/A	N/A	N/A	N/A	TBD	increase	# of partnerships/IGAs at cost recovery	increase
6.E - Continue to attract, retain and train high quality employees.		424	1,283	1,153	1,200	maintain	# Total training contact hours	maintain	
	11.A - THPRD will conduct a service assessment and review portfolio of services annually to ensure responsiveness to each unique service area and their socio-economic conditions.	N/A	N/A	N/A	TBD	maintain	% of employees receiving Bilingual premium pay v. of positions which are Bilingual premium pay eligible	maintain	



FY 2016-17 THPRD Goal Outcomes

Strategic Plan Goal / Objective	Service and Financial Sustainability Analysis Objective	2011-12 (PY Service Level)	2012-13 (PY Service Level)	Final 2013-14 (PY Service Level)	2014-15 Goal Outcome (Current Serv Level)	2015-16 Goal Outcome (Current Serv Level)	Basis of Measurement	2016-17 Goal Proposed Outcome (Target)
Goal 7. Effective Information & Communication								
Primary Measures:								
Effectively communicate information about park district goals, policies, programs and facilities among District residents, customers, staff. District advisory committees the District	22 - Increase targeted marketing and outreach efforts.	N/A	N/A	N/A	N/A		# of active accounts / populations	increase
Secondary Measures:								
7.B - Regularly communicate with and provide opportunities for the general public to learn about and comment on district activities	22.A - THPRD will increase marketing and promotional opportunities funding.	N/A	N/A	N/A	N/A		Recreation/sports programs usage resulting from contacts with public	increase
		N/A	N/A	N/A	N/A		# of website conversions (emails, downloads, sign-ups, etc)	increase
Goal 8. Environmental and Financial Sustainability								
Primary Measures:								
Incorporate principles of environmental and financial sustainability into the design, operation, improvement, maintenance and funding of park district programs and facilities.	19.B - THPRD will pursue alternative funding for efficiency measures to reduce the costs to the taxpayer of operations, maintenance, and safety over the next several years. • <i>Research return on investment (ROI) amortization schedules for investing in and converting to green practices.</i>	48.55	57.79	54.71	54.35	decrease	Water (Gallons) per year per Building & Pool square foot:	decrease
		57,081	59,500	50,319	51,035	decrease	Water (Gallons) per year per developed Acre	decrease
		61,809	53,526	62,632	27,965	decrease	Water (Gallons) per year per developed Acre normalized for ETR	decrease
		55,400	73,625	60,590	77,692	decrease	Water (Gallons) per year per # of athletic fields & courts maintained	decrease
		59,988	66,232	77,959	15,187	decrease	Water (Gallons) per year per # of athletic fields & courts maintained normalized for ETR	decrease
		14,549	14,408	14,392	14,280	decrease	Total annual metric tons of CO2 generated	decrease
		N/A	N/A	N/A	TBD	increase	Acres of parking surface run off treated on-site	increase
Secondary Measures:								
8.A - Consider the environmental impacts of maintenance and operational activities and standards.	19.B - THPRD will pursue alternative funding for efficiency measures to reduce the costs to the taxpayer of operations, maintenance, and safety over the next several years. • <i>Research return on investment (ROI) amortization schedules for investing in and converting to green practices.</i>	1.06	0.94	0.91	0.85	decrease	Gas (Therms) per year per Building & Pool square foot:	decrease
		12.73	12.42	12.33	12.49	decrease	Electric (kWh) per year per Building & Pool square foot:	decrease
		99.51	117.48	116.72	123.90	decrease	Electric (kWh) per year per developed Acre	decrease
		751.93	816.76	811.87	873.26	decrease	Electric (kWh) per year per # of athletic fields & courts maintained	decrease
		84.9%	85.2%	91.5%	91.5%	increase	% Number of irrigation systems automated (of irrigation systems desired to be automated)	increase
8.B - Provide and enhance opportunities for employees to reduce impacts on the natural environment (e.g., through use of alternative forms or transportation or energy use).							% Number of desired lighted sites automated:	
		61.0%	61.0%	61.0%	61.0%	increase	Athletic Fields (of fields desired to light)	increase
		100.0%	100.0%	100.0%	100.0%	maintain	Parking Lots (of parking lots desired to light)	maintain
		92.0%	92.0%	92.0%	92.0%	increase	Pathways (of pathways desired to light)	increase
		N/A	66.80	63.27	64.97	decrease	Fossil fuel usage / mile travelled (Gallons / 1,000 mi)	decrease



FY 2016-17 THPRD Goal Outcomes

Strategic Plan Goal / Objective	Service and Financial Sustainability Analysis Objective	2011-12 (PY Service Level)	2012-13 (PY Service Level)	Final 2013-14 (PY Service Level)	2014-15 Goal Outcome (Current Serv Level)	2015-16 Goal Outcome (Current Serv Level)	Basis of Measurement	2016-17 Goal Proposed Outcome (Target)
ARCHIVED FY2015-16								
4.A - Conserve and enhance park district natural areas by working cooperatively with other groups.	19.C - THPRD will expand alternative funding for strategic initiatives through grants for new and existing capital projects.	N/A	N/A	N/A	N/A	N/A	# of acres of natural area managed/owned in partnership with another organization	eliminate
5.A - Provide access to the trail system for people of all abilities, recognizing that not every individual trail will meet this threshold; link trails to a complementary system of on-road bicycle and pedestrian routes to improve access and connectivity.		N/A	N/A	N/A	TBD	increase	% of trails that are ADA accessible	eliminate
Provide value and efficient service delivery for taxpayers, patrons and others who help fund park district activities.	17 - Ensure long-term sustainability by focusing taxpayer funding on those services that produce the widest community benefit, using a cost	92.1%	96.4%	97.6%	TBD	increase	% Classes with fee at fee recovery targets	eliminate
		N/A	100.0%	N/A	95.0%	91.0%	Districtwide - program revenues as a % of revenue needed to meet Cost Recovery Target	eliminate
Effectively communicate information about park district goals, policies, programs and facilities among District residents, customers, staff, District advisory committees the District Board, partnering agencies and other groups	22 - Increase targeted marketing and outreach efforts.	8.75 out of 10	8.75 out of 10	8.75 out of 10	8.75 out of 10	maintain	Population (patron) satisfaction	eliminate


**Cost Recovery By Department
By Category**

	14-15	15-16 Adopted Budget					
		By Department					
	District-wide	District-wide	Aquatics	Recreation	Sports	Prog. & Spec. Act.	Natural Resource
Community-wide Events		39%	6%	29%			0%
Inclusion Services		0%				0%	
Support Services		0%					
Open Park Usage		NA					
Tier 1 Subtotal (Target 0%)	1%	1%	6%	29%	0%	0%	0%
Classes, Workshops and Clinics - Beg.		58%	54%	71%	50%	31%	13%
Monitored Park/Facility Usage		34%	18%	39%	32%	48%	
Volunteer Program							
Tier 2 Subtotal (Target 75%)	53%	50%	36%	61%	41%	34%	13%
Classes, Workshops and Clinics-Int/Adv		65%	37%	0%	74%		
Rentals		26%	30%	109%	23%		
Tournaments and Leagues/Unrest.		30%	15%		43%		
Preschool		65%		83%			31%
Camps/Before and After School Care		63%	33%	72%	30%		44%
Therapeutic/Adapted/Spec Rec Srvcs		28%	15%		31%	37%	
Tier 3 Subtotal (Target 100%)	35%	45%	28%	74%	55%	37%	40%
Classes, Workshops and Clinics - Comp		42%	37%		112%		
Specialized Activities		39%	9%	48%			47%
Drop-In Childcare/Babysitting		42%		42%			
Tournaments & Leagues/Restricted		30%			30%		
Tier 4 Subtotal (Target 150%)	39%	41%	35%	43%	66%	0%	47%
Concession and Vending		96%	151%	220%	88%		
Merchandise		0%			0%		
Private/Semi-Private Lessons		126%	182%	44%	209%		
Rentals/Exclusive Use - Private		61%	16%		68%	NA	NA
Tenant Leases		49%		49%			
Equipment Rentals		NA					
Trips		56%				55%	81%
Organized Parties		128%		122%			226%
Professional Services		32%	32%				
Tier 5 Subtotal (Target 200%)	67%	75%	73%	61%	82%	63%	254%
TOTAL	52.2%	51.6%	36.1%	65.5%	48.4%	34.5%	35.1%
TARGET	97.1%	93.3%	89.0%	91.9%	107.4%	76.9%	95.3%
Program Revenue as a % of Revenue needed to meet CR Goals	53.7%	55.4%	40.5%	71.3%	45.1%	44.9%	36.8%



Cost Recovery Targets By Center	Budgeted Op. Expense	Allocated Direct Costs	Budgeted Revenue*	Target CR %	2015-16 Budgeted CR %	Program Revenues as a % of Revenue needed to meet Cost Recovery
Aloha / Somerset West	\$ 1,118,253	\$ 1,532,207	\$ 433,216	86.7%	39.9%	46.0%
Aquatics Center	\$ 917,509	\$ 1,756,239	\$ 664,229	90.9%	37.8%	41.6%
Beaverton Swim Center	\$ 807,389	\$ 1,162,550	\$ 424,605	86.2%	36.5%	42.4%
Harman Swim Center	\$ 705,094	\$ 1,007,880	\$ 314,973	90.1%	31.3%	34.7%
Sunset/Raleigh	\$ 1,031,045	\$ 1,415,672	\$ 300,984	90.9%	32.9%	36.2%
Aquatics Subtotal	\$ 4,579,290	\$ 6,874,549	\$ 2,138,007	89.0%	36.1%	40.5%
Cedar Hills Rec Center	\$ 1,620,320	\$ 2,109,131	\$ 1,489,216	83.1%	70.6%	85.0%
Conestoga Rec/Aquatic Center	\$ 2,145,801	\$ 3,010,581	\$ 1,909,523	89.3%	63.4%	71.0%
Garden Home Rec Center	\$ 1,118,930	\$ 1,623,882	\$ 999,794	108.1%	62.7%	58.0%
Recreation Subtotal	\$ 4,885,051	\$ 6,743,594	\$ 4,398,532	91.9%	65.5%	71.3%
Athletic Center	\$ 944,453	\$ 2,153,798	\$ 868,439	98.3%	44.4%	45.2%
Tennis Center	\$ 691,611	\$ 1,495,109	\$ 1,055,081	132.7%	70.6%	53.2%
Fields	\$ -	\$ 2,430,514	\$ 411,295	100.0%	16.9%	16.9%
Sports Subtotal	\$ 1,636,064	\$ 6,079,421	\$ 2,334,814	107.4%	48.4%	45.1%
Elsie Stuhr Center	\$ 998,487	\$ 1,659,148	\$ 588,509	73.3%	34.0%	46.4%
Camp Rivendale	\$ 153,913	\$ 264,676	\$ 100,116	100.0%	37.8%	37.8%
Prog & Spec Act Subtotal	\$ 1,152,400	\$ 1,923,824	\$ 688,625	76.9%	34.6%	44.9%
Natural Resources	\$ 825,607	\$ 1,224,967	\$ 332,188	95.3%	35.1%	36.8%
Programs Total	\$ 13,078,412	\$ 22,047,131	\$ 10,538,757	93.3%	51.6%	55.4%
Other	\$ 23,997,343	\$ -	\$ 29,404,409	NA	NA	NA
DISTRICT WIDE	\$ 37,075,755	\$ 22,047,131	\$ 39,296,575	93.3%	51.6%	55.4%

* Excludes transfers, beginning fund balance, grants, and sponsorships



Management Report to the Board August 10, 2015

Communications & Outreach

Bob Wayt, Director of Communications & Outreach

1. Despite lower-than-normal temperatures and occasional downpours in the morning, THPRD's 10th annual Party in the Park went on as scheduled at the HMT Complex on July 25. About 4,500-5,000 guests turned out and enjoyed the usual wide range of free activities. The weather forced cancellation of some activities, but overall, the event went well.
2. Weather was no problem at all on July 16 as THPRD staged a free concert and dedication ceremony at Cedar Mill Park. A crowd estimated at 1,000 flocked to the park's new soccer field for music and comedy by Tony Starlight. At intermission, General Manager Doug Menke dedicated improvements to the park funded by the 2008 voter-approved bond measure.
3. The Groovin' on the Grass concert with Tower of Power is coming soon: August 15 at the HMT Complex. For the first time, THPRD is selling tickets in advance, and as of late July, more than 1,700 had been sold. The \$10 advance purchase price (\$15 at the gate) is a bargain given the band's long string of hits and albums during a career lasting nearly 50 years.
4. Also on August 15: online and phone registration for fall programs and activities begins for in-district residents. Staff have used a broad array of communications tools to alert and remind patrons. Registration for out-of-district patrons starts two days later, on August 17.

Community Partnerships

Geoff Roach, Director of Community Partnerships

1. Overview: The project team has secured 68% of the Access for All capital revenues to be invested in park features and resources for people with disabilities (inclusive of revenues to support fundraising costs). An additional \$200,000 will be raised to support program and equipment costs. The project team aims to secure a minimum of 85% of Access for All capital fundraising by December 31, 2015. Developments for June and July 2015 include:
 - A. Foundations
 - i. The Collins Foundation and HEDCO Family Foundation donated a combined \$84,500.
 - ii. New foundation requests have been either made or are being positioned now.
 - iii. Application submittal schedule for emerging foundations is understood.
 - a. Working with a targeted list of emerging foundations now.
 - b. Strategic cultivation of priority foundations is proceeding.
 - B. Individual donor prospects
 - i. Calls and meetings with donor prospects continue.
 - ii. New donor, THPF board of trustee and Champions Council prospects are identified and cultivation is underway.
2. The Tualatin Hills Park Foundation: The board of trustees is growing. Two additions to the board were approved at the 2015 annual meeting held on July 13. Bylaw revisions were also approved at the annual meeting. Access for All funding remains the foundation's focus.

Aquatics

Sharon Hoffmeister, Superintendent of Aquatic Program Services

1. This has been a busy summer with the long stretch of sunny, very warm temperatures. As the summer begins to wind down, the Summer Splash District Championship meet will be held at the Aquatic Center on Saturday, August 15. Also, high school water polo will get underway with pre-season practices beginning August 24.
2. The ninth annual Family Triathlon held in conjunction with Party in the Park on Saturday, July 25 was very successful. Although it was a rainy morning, the 156 participants had a great time. We greatly appreciate the 42 volunteers from the Church of Latter Day Saints. Without their participation, this event would not be possible.

Maintenance

Jon Campbell, Superintendent of Maintenance Operations

1. The Maintenance Department made water reductions to 63% of irrigated sites throughout the district. Reductions were made to non-programmed sports fields or parks, aesthetic-only turf areas, parking strips, berms, undeveloped landscapes, field grass, trail corridors and natural areas. The reductions were a proactive step to reduce water utilization. Programmed sports fields, newly constructed parks with high-level landscapes, splash pads and the community gardens received minimal or no water reductions.
2. The Commonwealth Lake pathway realignment project is complete and open for use. The new 150' asphalt pathway was installed in the south section of the lake, adjoined with pathway sections from the east and west sides.
3. The Park Maintenance Department received the Oregon Rehabilitation Association (ORA) Public Employer of the Year Award for 2015. This award is presented annually to a community business that employs individuals with disabilities thereby improving their quality of life. THPRD employs Step Forward Activities, an Oregon company that provides opportunities to persons with disabilities, manufacturer of the Woof Waste dog bag dispensers and dog bags. THPRD has been a partner with Step Forward Activities, using their products since March 2014.

Natural Resources & Trails Management

Bruce Barbarasch, Superintendent of Natural Resources & Trails Management

1. United Way Partnership. The United Way of Washington County has put together an Equity Advisory Council focused on the health, education and general wellbeing of youth and their families. Through this partnership, we have distributed 2,500 THPRD Trail maps, which were distributed to low-income families in the area.
2. Turtle Surveys. Volunteers have been surveying populations of native and non-native turtles at a number of locations throughout THPRD, including: Barrows Park, Beacon Hill Wetlands, Beaverton Creek Wetlands, Commonwealth Lake Park and Tualatin Hills Nature Park.
3. Nature Camp. Camp revenues are about 10% higher than last year at this time; however, the overall number of registrations is down about 5% from the same time period.
4. Jenkins Trails. Staff improved the user experience by constructing a new bridge and rerouting eroded trails in the forested areas of the Jenkins Estate.
5. Bethany Lake Dam. A sinkhole has formed on the lake's earthen dam near Rock Creek. Staff are working with a consultant and Clean Water Services to repair the hole before it gets larger.

6. Mt. Williams Bond Work. Staff held onsite meetings to discuss bond restoration and a soft-surface trail extension to connect neighborhoods to the Westside Trail. There was a high level of support for the project. Work is expected to begin in late fall.
7. Nature Play Surveys Underway. Volunteers began performing patron use surveys of THPRD's nature play areas to give staff an idea of how and when these areas are being used.

Planning, Design & Development

Steve Gulgren, Superintendent of Design & Development
Jeannine Rustad, Superintendent of Planning

1. On July 15, the Washington County Planning Commission held a hearing on Ordinance No. 801, which proposes to reduce the natural features buffer on the northern edge of North Bethany from the current width, ranging from 158 to 465 feet, to a uniform width of 50 feet. Staff provided written and oral testimony at the hearing expressing concern over the ability to accommodate trails and viewpoints in the area, as required by the Community Development Code. Staff have been working with the developer, K&R Holdings, on refining trail and viewpoint locations within their proposed development. The hearing has been continued until August 5. Staff are also working with the Beaverton School District on the location of a trail on their property west of Kaiser Road.
2. On August 5, the Washington County Planning Commission will hold a hearing on proposed Ordinance No. 802, which will adopt the Bonny Slope West subarea plan into the Cedar Hills-Cedar Mill Community Plan, and amends the Comprehensive Framework Plan for the Urban Area, the Transportation System Plan and the Community Development Code to add requirements applicable to the Bonny Slope West subarea. The subarea plan identifies a future trail corridor and potential park locations determined through a concept planning process in which THPRD staff participated over the last two years. The trail corridor and future park(s) are intended to be developed and maintained by THPRD.
3. The Beaverton Planning Commission approved plans for the South Cooper Mountain High School on July 7. The approval addressed THPRD's concern about extending the hours of operation of the fields to 7 am to 10 pm, seven days a week and directed the school district to continue working with THPRD on the width and location of the future community trail along 175th Avenue. The Planning Commission's decision has been appealed on issues unrelated to THPRD's concerns. The Beaverton City Council will hear the appeals on August 18, 2015.
4. Staff have continued to work with Polygon Northwest Company to complete the park and trail improvements at Polygon's Timberland development. Construction of the various improvements is finally complete, and staff is in the process of closing out the construction phases with Polygon and accepting the property donations.
 - In mid-June staff closed on the first of three major acquisitions at Timberland. THPRD is now operating and maintaining the one-acre neighborhood square park with splash pad which is centrally located within the development.
 - Staff expects to close on the second acquisition at Timberland in late July or early August 2015, which includes three tracts totaling 8.77 acres of natural area in the southeast corner of the development, including a portion of the Cedar Mill Creek Trail.
 - Staff expects to close on the third and final acquisition at Timberland in late summer/early fall 2015. This acquisition includes seven tracts totaling 9.41 acres of parks, trails and natural area along the north and west sides of the development, including a portion of the Cedar Mill Creek Trail and the commemorative Sue Conger Boardwalk & Overlook. Construction close-outs for these areas are currently in progress.

Programs & Special Activities

Lisa Novak, Superintendent of Programs & Special Activities

1. The Outdoor Exercise Station project located in Stuhr Center Park is proceeding on schedule with an estimated completion date of August 21.
2. Elsie Stuhr Center staff have begun meeting with volunteers to plan the upcoming Harvest Bazaar, which is scheduled for Friday, September 11 from 8 am to 6:30 pm.

Recreation

Eric Owens, Superintendent of Recreation

1. Garden Home Recreation Center sports camps and Little Explorers camps are doing very well this summer. Sports camps have seen a 10% increase in revenue while the Little Explorers camps have increase attendance of 14% over last year.
2. Cedar Hills Recreation Center's Little Free Library is up and running and has been a big hit with patrons. Little Free Libraries are popping up all over the country as a way to share books within a community. "Take a book, leave a book" is the motto for these mini libraries. Cedar Hill's patrons have responded with book donations to help get our library started.
3. The Conestoga Club Splash after school program is full with 126 students enrolled, and 20 on the waiting list for the 2015/16 school year.

Security Operations

Mike Janin, Superintendent of Security Operations

1. There is an obvious good reason why staff write an operational plan, meet and train before the event, and discuss "what ifs" for most of THPRD's large events. On Saturday, July 25, at Party in the Park, staff were contacted by a mother who lost her 18-year-old autistic son somewhere in the crowd. She feared he would walk away from the complex. Using the hood of a sheriff's vehicle in front of the entry to the maintenance yard, staff set up a small command post. The three uniformed deputies present and about 12 THPRD staff assigned to the event from the Maintenance Department conducted a quick briefing. Using the HMT complex grid search map included in the written plan, we quickly assigned grids to be searched. After 10 minutes, the young man was located by two of the THPRD employees assigned to the organized search. He was happily reunited with his mother.

Sports

Scott Brucker, Superintendent of Sports

1. The summer teen adventure rec series will wrap up this month. Bubble Soccer, stand up paddle boarding and big wheel racing are complete; there are three fall programs scheduled including a 3 vs. 3 basketball tournament in September.
2. Summer softball will be complete the second week of August and fall leagues will begin the third week of August.
3. The Tennis Center roof replacement project began the week of August 3 and will limit indoor use through the last week of September. Morning programming has moved to park sites.
4. Both of the Tennis Center air structures are scheduled for installation the week of September 21. The east structure will be set up one month early to assist with the diminished indoor space during the Tennis Center roof replacement project.

Business Services

Cathy Brucker, Finance Manager

Nancy Hartman Noye, Human Resources Manager

Mark Hokkanen, Risk & Contract Manager

Seth Reeser, Operations Analysis Manager

Phil Young, Information Services Manager

1. The Risk & Contract Management Department has received preliminary requests from Verizon Wireless to co-locate cellular monopoles with athletic field lights on them, similar to Sunset Park. Verizon is considering the softball fields located at PCC Rock Creek and HMT Complex as potential sites. If Verizon decides to move forward, staff will follow the procedures within Operational Policy 2.05.02, Telecommunication Equipment on District Property, which includes a public meeting. A final recommendation will be presented to the board of directors at a future date. To date, THPRD has 24 lease agreements with telecommunication carriers, with annual revenues of \$235,000.
2. Out-of-district use continues to increase from last year. Pass/drop-in contacts were up 13% in April/May/June and registrations were up 15% when normalized for adult fitness classes. Increased usage has offset the anticipated loss of out-of-district assessment revenue.
3. Human Resources staff participated in the Live Resume job fair on July 17. This unique event hosted by OHSU and Oregon Vocational Rehabilitation Services is designed to offer job-ready candidates with disabilities the opportunity to meet with potential employers and to help employers fill the gap in their labor force. Over 75 local agencies participated in the event which drew hundreds of job seekers.
4. The Information Services Department has issued a request for information (RFI) for our Daily Operations and Class Management system. The goal of the RFI is to determine if there is an off-the-shelf product that might meet THPRD's needs as a replacement for the existing in-house system. The RFI is based on the needs assessment completed earlier this year. Depending on the RFI responses, the next step would be to prepare a business plan for funding the software and implementation in FY 2016/17, and then conduct a request for proposals (RFP) to select the recommended provider. To date, six external responses have been received.
5. Talbot, Korvola & Warwick (TKW), THPRD's auditors, completed the interim audit field work for the year ended June 30, 2015. Staff and TKW will meet with the district audit committee on August 26, 2015 to review the audit approach, deliverables, and implementation of new guidelines. TKW will be on-site to perform the foundation audit in August and follow-up with the final field work for the district audit in October.

**Quarterly Grant Report
FY 2013/14 & FY 2014/15**

Potential Funding Source	Coordinator	Amount Requested	Purpose	Date Submitted	Decision Date	Outcome	Comments
OPRD Local Government Grant Program (LGGP)	Brad Hauschild	\$50,000	McMillan Play Equipment	5/1/2015	9/15/2015	TBD	
Metro Nature in Neighborhoods	Bruce Barbarasch	\$23,500	Habitat restoration in Willow Creek Greenway	4/21/2015	9/1/2015	TBD	
Hoover Family Foundation	Tina Malcom	\$3,214	Camp Rivendale Swim Lessons	2/26/2015	June, 2015	Awarded	
OPRD Recreation Trails Program	Brad Hauschild	\$109,200	Waterhouse Trail Improvements at John Marty Park	7/25/2014	January, 2015	Denied	
Oregon Parks & Rec Dept Local Government Grant	Brad Hauschild	\$40,000	Terra Linda Park picnic pavilion	4/4/2014	September, 2014	Denied	
Oregon Parks & Rec Dept Local Government Grant	Brad Hauschild	\$212,500	Roger Tilbury Memorial Park Phase 2	4/4/2014	September, 2014	Denied	
Oregon Parks & Rec Dept Land & Water Conservation Fund	Brad Hauschild	\$50,000	Raleigh Park picnic pavilion	3/28/2014	September, 2014	Denied	
Metro Nature in Neighborhoods Capital Grant	Nancy Chase/Aisha Panas	\$136,435	Assistance in property acquisition to expand Lilly K. Johnson Woods Natural Area	1/24/2014	June, 2014	Awarded	Would add to a previous grant awarded for the same purpose
ArtPlace America	Bruce Barbarasch	\$198,000	Art & artist workshops for Nature Revealed Project	12/13/2013	2/14/2014	Denied	
ODOT ConnectOregon V	Brad Hauschild	\$600,000	Waterhouse Trail #4 - construction	11/22/2013	August, 2014	Denied	

* New information is highlighted.

August

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Summer Concert in
the Park @ Raleigh
Swim Center/Park

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Big Truck Day @
Conestoga Recreation
& Aquatic Center

9

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Board Meeting 7pm
@ Dryland/HMT

11

Parks Advisory
Committee 6pm

12

13

14

15

Groovin' on the Grass
@ HMT Recreation
Complex

Dive-in movie @
Raleigh Swim Center

16

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Sports Advisory
Committee 1pm

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2015

September

<i>Sun</i>	<i>Mon</i>	<i>Tue</i>	<i>Wed</i>	<i>Thu</i>	<i>Fri</i>	<i>Sat</i>
		1 Natural Resources Advisory Committee 6:30pm	2 Dive-in Movie @ Somerset West Swim Center	3	4	5
6	7	8 Parks Advisory Committee 6pm	9	10	11 Harvest Bazaar @ Elsie Stuhr Center	12
13	14	15	16	17 Sports Advisory Committee 1pm	18	19
20 Sunday Trailways & Dedication Event @ Waterhouse Trail	21 Stuhr Center Advisory Committee 10am	22 Natural Resources Advisory Committee 6:30pm	23 Aquatics Advisory Committee 7pm	24	25	26
27	28	29	30			

2015

October

Sun

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Board Meeting 7pm
@ Dryland/HMT

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Parks Bond Citizen
Oversight Committee
6pm @ Dryland/HMT

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31

2015

Tualatin Hills Park and Recreation District
Monthly Capital Project Report
Estimated Cost vs. Budget
Through 6/30/2015

Description	Project Budget				Project Expenditures			Estimated Total Costs			Est. Cost (Over) Under Budget		
	Prior Year Budget Amount (1)	Budget Carryover to Current Year (2)	New Funds Budgeted in Current Year (3)	Cumulative Project Budget (1+3)	Current Year Budget Amount (2+3)	Expended Prior Years (4)	Expended Year-to-Date (5)	Estimated Cost to Complete (6)	Basis of Estimate	Project Cumulative (4+5+6)	Current Year (5+6)	Project Cumulative	Current Year
GENERAL FUND													
CAPITAL OUTLAY DIVISION													
CARRY FORWARD PROJECTS													
JQAY House Renovation	100,000	1,800	-	100,000	1,800	87,371	-	1,800	Budget	89,171	1,800	10,829	-
Challenge Grant Competitive Fund	45,000	45,000	-	45,000	45,000	-	12,284	-	Complete	12,284	12,284	32,716	32,716
Signage Master Plan	75,000	53,000	-	75,000	53,000	70,108	42,535	-	Complete	112,643	42,535	(37,643)	10,465
Fanno Creek Trail Management	62,000	20,400	-	62,000	20,400	39,409	2,638	17,762	Budget	59,809	20,400	2,191	-
Pedestrian Pathways (7 sites)	88,414	88,414	-	88,414	88,414	67,063	21,351	-	Complete	88,414	21,351	-	67,063
Concrete Sidewalks (6 sites)	50,200	50,200	-	50,200	50,200	27,875	8,000	-	Complete	35,875	8,000	14,325	42,200
Stuhr Parking Lot Crack Repair	26,666	16,166	-	26,666	16,166	10,500	16,166	-	Complete	26,666	16,166	-	-
ADA Wonderland Park Playstructure cmp	13,200	13,200	-	13,200	13,200	13,200	-	-	Complete	13,200	-	-	13,200
Playstructure - Wonderland Park	113,000	113,000	-	113,000	113,000	98,806	5,584	-	Complete	104,390	5,584	8,610	107,416
FC Greenway Erosion Solution	75,000	60,000	60,000	135,000	120,000	41,972	53,944	-	Complete	95,916	53,944	39,084	66,056
Aqua Climb	9,180	9,180	-	9,180	9,180	-	7,042	-	Complete	7,042	7,042	2,138	2,138
Aquatic Center Dive Tower Louvers	9,500	9,500	-	9,500	9,500	-	-	9,500	Budget	9,500	9,500	-	-
Jenkins Lead Abatement (Main House)	9,000	9,000	-	9,000	9,000	-	-	9,000	Budget	9,000	9,000	-	-
G-Max Testing Unit	14,000	14,000	-	14,000	14,000	-	-	-	Cancelled	-	-	14,000	14,000
HMT Tennis Center Roof	868,000	868,000	-	868,000	868,000	1,723	10,279	855,998	Budget	868,000	866,277	-	1,723
Info System Workstations & Notebooks	67,000	35,000	-	67,000	35,000	32,213	-	35,000	Budget	67,213	35,000	(213)	-
Jenkins Estate Irrigation	-	-	-	-	-	1,778	2,275	-	Complete	4,053	2,275	(4,053)	(2,275)
FCSC Remodel	132,000	-	-	132,000	-	94,235	20,143	-	Complete	114,378	20,143	17,622	(20,143)
Energy Savings Performance Contract Phase 2	674,736	-	-	674,736	-	416,486	-	40,300	Award	456,786	40,300	217,950	(40,300)
TOTAL CARRYOVER PROJECTS	2,431,896	1,405,860	60,000	2,491,896	1,465,860	1,002,738	202,241	969,360		2,174,339	1,171,601	317,557	294,259
ATHLETIC FACILITY REPLACEMENT													
Synthetic Turf - Aloha High	-	-	160,000	160,000	160,000	-	156,310	-	Complete	156,310	156,310	3,690	3,690
Tennis Court Resurfacing & Crack Repair	-	-	91,000	91,000	91,000	-	86,926	-	Complete	86,926	86,926	4,074	4,074
Carolwood Park-Basketball Court Resurface	-	-	16,000	16,000	16,000	-	21,106	-	Complete	21,106	21,106	(5,106)	(5,106)
Somerset Park Hitting Wall	-	-	10,000	10,000	10,000	-	7,450	-	Complete	7,450	7,450	2,550	2,550
Tennis Stadium Marble Panels	-	-	-	-	-	-	5,592	-	Complete	5,592	5,592	(5,592)	(5,592)
Sinkhole Repair - Outdoor Tennis Courts	-	-	-	-	-	-	4,959	-	Complete	4,959	4,959	(4,959)	(4,959)
TOTAL ATHLETIC FACILITY REPLACEMENT			277,000	277,000	277,000		282,343			282,343	282,343	(5,343)	(5,343)
ATHLETIC FACILITY IMPROVEMENT													
Summercrest Park Tennis Bank	-	6,500	-	6,500	6,500	-	7,500	-	Complete	7,500	7,500	(1,000)	(1,000)
Synthetic Turf Field-Conestoga Middle School	-	650,000	-	650,000	650,000	-	-	650,000	Budget	650,000	650,000	-	-
TOTAL ATHLETIC FACILITY IMPROVEMENT		656,500		656,500	656,500		7,500	650,000	Budget	657,500	657,500	(1,000)	(1,000)
PARK AND TRAIL REPLACEMENTS													
Play Equipment (2 sites)	-	-	87,468	87,468	87,468	-	77,386	3,070	Award	80,456	80,456	7,012	7,012
Irrigation & Drainage System Repairs	-	-	25,000	25,000	25,000	-	24,875	-	Complete	24,875	24,875	125	125
Trash Cans in Parks	-	-	5,000	5,000	5,000	-	4,913	-	Complete	4,913	4,913	87	87
Dog Bag Dispensers	-	-	10,000	10,000	10,000	-	10,128	-	Complete	10,128	10,128	(128)	(128)
Canopies	-	-	2,860	2,860	2,860	-	2,600	-	Complete	2,600	2,600	260	260
Burnsridge Park Picnic Table	-	2,500	-	2,500	2,500	-	2,500	-	Complete	2,500	2,500	-	-
Fences (2 sites)	-	4,500	-	4,500	4,500	-	4,417	-	Complete	4,417	4,417	83	83
Portable Toilet Enclosures (5)	-	5,000	-	5,000	5,000	-	3,161	-	Complete	3,161	3,161	1,839	1,839
Asphalt Path Replacement & Repairs (6 sites)	-	172,707	-	172,707	172,707	-	184,497	10,864	Award	195,361	195,361	(22,654)	(22,654)
Concrete Sidewalks (4 sites) & Curbing (2 sites)	-	38,117	-	38,117	38,117	-	37,494	-	Complete	37,494	37,494	623	623
Greenway Park Boardwalk Design Phase 1	-	40,000	-	40,000	40,000	-	43,319	3,433	Award	46,752	46,752	(6,752)	(6,752)
Signage (various sites)	-	26,400	-	26,400	26,400	-	22,589	18,401	Award	40,990	40,990	(14,590)	(14,590)
TOTAL PARK AND TRAIL REPLACEMENTS			419,552	419,552	419,552		417,879	35,768		453,647	453,647	(34,095)	(34,095)
PARK AND TRAIL IMPROVEMENTS													
Memorial Benches	-	8,000	-	8,000	8,000	-	5,210	759	Award	5,969	5,969	2,031	2,031
ODOT Grant-Westside Trail#18 easement	-	150,000	-	150,000	150,000	-	136,600	11,025	Award	147,625	147,625	2,375	2,375
Opinionator - Patron Feedback	-	2,500	-	2,500	2,500	-	1,360	-	Complete	1,360	1,360	1,140	1,140
Raleigh Park Shelter- LWCF Grant	-	50,000	-	50,000	50,000	-	-	-	Cancelled	-	-	50,000	50,000
Terra Linda Park Shelter-LGPP Grant	-	40,000	-	40,000	40,000	-	-	-	Cancelled	-	-	40,000	40,000
Roger Tilbury Phase 2-LGPP Grant	-	212,500	-	212,500	212,500	-	-	-	Cancelled	-	-	212,500	212,500
TOTAL PARK AND TRAIL IMPROVEMENTS		463,000		463,000	463,000		143,170	11,784		154,954	154,954	308,046	308,046

Tualatin Hills Park and Recreation District
Monthly Capital Project Report
Estimated Cost vs. Budget
Through 6/30/2015

Description	Project Budget				Project Expenditures		Estimated Total Costs			Est. Cost (Over) Under Budget			
	Prior Year Budget Amount (1)	Budget Carryover to Current Year (2)	New Funds Budgeted in Current Year (3)	Cumulative Project Budget (1+3)	Current Year Budget Amount (2+3)	Expended Prior Years (4)	Expended Year-to-Date (5)	Estimated Cost to Complete (6)	Basis of Estimate	Project Cumulative (4+5+6)	Current Year (5+6)	Project Cumulative	Current Year
CHALLENGE GRANTS													
Program Facility Challenge Grants			97,500	97,500	97,500	-	64,039	20,457	Award	84,496	84,496	13,004	13,004
TOTAL CHALLENGE GRANTS			97,500	97,500	97,500	-	64,039	20,457		84,496	84,496	13,004	13,004
BUILDING REPLACEMENTS													
Cardio/Weight Room Equipment Replacement			40,000	40,000	40,000	-	40,000	-	Complete	40,000	40,000	-	-
Aquatic Center Roof			800,000	800,000	800,000	-	63,268	736,732	Budget	800,000	800,000	-	-
Aquatic Center Pool Deck			267,250	267,250	267,250	-	-	267,250	Budget	267,250	267,250	-	-
Aquatic Center Resurface Pool & Tile Repair			241,803	241,803	241,803	-	1,920	239,883	Budget	241,803	241,803	-	-
Aquatic Center Electronic HVAC Controls			115,485	115,485	115,485	-	6,658	108,827	Budget	115,485	115,485	-	-
Aloha Main Circulation Pump Platform			7,450	7,450	7,450	-	7,990	-	Complete	7,990	7,990	(540)	(540)
Replacement Pump/Motor (2)			24,600	24,600	24,600	-	23,500	-	Complete	23,500	23,500	1,100	1,100
Diatomaceous Earth Filtr Cvr-2			5,775	5,775	5,775	-	7,059	-	Complete	7,059	7,059	(1,284)	(1,284)
Beaverton Pool Gutter-line			5,600	5,600	5,600	-	6,090	-	Complete	6,090	6,090	(490)	(490)
Aquatic Center Gutters, Chm Cntrfr, Drain Covers			18,236	18,236	18,236	-	7,513	10,723	Budget	18,236	18,236	-	-
Aquatic Center 16' Dive Board			8,613	8,613	8,613	-	8,240	-	Complete	8,240	8,240	373	373
Aloha Splash Water Slide			5,471	5,471	5,471	-	3,935	-	Complete	3,935	3,935	1,536	1,536
Harman Lane Anchors			6,290	6,290	6,290	-	6,290	-	Complete	6,290	6,290	-	-
Lookout Platform Chair			7,132	7,132	7,132	-	5,615	-	Complete	5,615	5,615	1,517	1,517
Aloha Portable Slide			5,470	5,470	5,470	-	-	-	Cancelled	-	-	5,470	5,470
AC Track Drinking Fountain			1,000	1,000	1,000	-	645	-	Complete	645	645	355	355
Schlottmann Hot Water Heater			1,100	1,100	1,100	-	514	-	Complete	514	514	586	586
Cedar Hills Boiler Room Drains			2,760	2,760	2,760	-	2,760	-	Complete	2,760	2,760	-	-
CRAC Weld Boiler Heat Exchanger Pipes			2,000	2,000	2,000	-	330	-	Complete	330	330	1,670	1,670
AC Shower Mixers & Parts			1,600	1,600	1,600	-	1,575	-	Complete	1,575	1,575	25	25
NPIC Interior Restroom Sinks & Parts			1,100	1,100	1,100	-	486	-	Complete	486	486	614	614
SSC Asbestos Abatement & Recover Piping			9,200	9,200	9,200	-	8,440	-	Complete	8,440	8,440	760	760
Carpet (AC & Dryland)			5,210	5,210	5,210	-	4,671	-	Complete	4,671	4,671	539	539
Interior Paint (TC & NP)			2,000	2,000	2,000	-	1,629	-	Complete	1,629	1,629	371	371
NPIC Reseal Ceramic Tile Flooring			6,000	6,000	6,000	-	5,320	-	Complete	5,320	5,320	680	680
Wood Floors / Court Refinishing			17,400	17,400	17,400	-	17,719	-	Complete	17,719	17,719	(319)	(319)
GH Tile Floor Replacement			1,000	1,000	1,000	-	995	-	Complete	995	995	5	5
AC Gym Wood Floors Screening/Resurfacing			10,500	10,500	10,500	-	10,160	-	Complete	10,160	10,160	340	340
NPIC Interior Restrooms Flooring			4,500	4,500	4,500	-	4,666	-	Complete	4,666	4,666	(166)	(166)
Stuhr Ctr Ice Machine			2,050	2,050	2,050	-	899	-	Complete	899	899	1,151	1,151
AC Socket Plates, Relamp & Blinds			10,674	10,674	10,674	-	9,824	-	Complete	9,824	9,824	850	850
TC Relamp / Washer & Dryer			7,500	7,500	7,500	-	6,265	-	Complete	6,265	6,265	1,235	1,235
Harman Window Shades			1,611	1,611	1,611	-	1,890	-	Complete	1,890	1,890	(279)	(279)
Furnace (CH & GH)			7,500	7,500	7,500	-	3,634	2,753	Award	6,387	6,387	1,113	1,113
Adm Office Rooftop Unit & Duct Heater			13,648	13,648	13,648	-	10,674	-	Complete	10,674	10,674	2,974	2,974
AC HVAC Electrical Repairs			4,000	4,000	4,000	-	1,748	-	Complete	1,748	1,748	2,252	2,252
NPIC Exterior Restrooms HVAC Fans			2,500	2,500	2,500	-	1,934	-	Complete	1,934	1,934	566	566
Camp Riv Upper Pavilion Exterior Painting			1,000	1,000	1,000	-	791	-	Complete	791	791	209	209
CH Downspouts Replacement			2,510	2,510	2,510	-	2,510	-	Complete	2,510	2,510	-	-
Fanno Farmhouse Picket Fence			2,500	2,500	2,500	-	821	-	Complete	821	821	1,679	1,679
Gutters (2 sites)			4,000	4,000	4,000	-	8,493	-	Complete	8,493	8,493	(4,493)	(4,493)
Greenway Park - Paint Structure & Replace Gutters			3,100	3,100	3,100	-	3,479	-	Complete	3,479	3,479	(379)	(379)
JEN Roof & Veranda Repairs			5,200	5,200	5,200	-	7,279	-	Complete	7,279	7,279	(2,079)	(2,079)
Tallac Terrace Park Play Pad Roof Repair			2,000	2,000	2,000	-	1,710	-	Complete	1,710	1,710	290	290
ASC Exterior Painting			14,889	14,889	14,889	-	15,778	-	Complete	15,778	15,778	(889)	(889)
NPIC Entrance Light Replacement & Interior Relamp			1,500	1,500	1,500	-	1,465	-	Complete	1,465	1,465	35	35
Fanno Farmhouse ADA Ramp			19,000	19,000	19,000	-	15,795	-	Complete	15,795	15,795	3,205	3,205
FCSC Roof Repairs & Consultation			18,096	18,096	18,096	-	10,928	-	Complete	10,928	10,928	7,168	7,168
AC Alcove Roof			11,500	11,500	11,500	-	12,412	-	Complete	12,412	12,412	(912)	(912)
JEN Stable Septic Tank			19,000	19,000	19,000	-	21,950	-	Complete	21,950	21,950	(2,950)	(2,950)
AC Compressor Replacement @ Stuhr Ctr			-	-	-	-	5,449	-	Complete	5,449	5,449	(5,449)	(5,449)

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Description	Project Budget				Project Expenditures			Estimated Total Costs			Est. Cost (Over) Under Budget		
	Prior Year Budget Amount (1)	Budget Carryover to Current Year (2)	New Funds Budgeted in Current Year (3)	Cumulative Project Budget (1+3)	Current Year Budget Amount (2+3)	Expended Prior Years (4)	Expended Year-to-Date (5)	Estimated Cost to Complete (6)	Basis of Estimate	Project Cumulative (4+5+6)	Current Year (5+6)	Project Cumulative	Current Year
Fanno Farmhouse Sewer Line	-	-	-	-	-	-	3,873	-	Complete	3,873	3,873	(3,873)	(3,873)
50 Mir Pool Circulation Pump	-	-	-	-	-	-	7,453	-	Complete	7,453	7,453	(7,453)	(7,453)
Tennis Air Structures Reconst.	-	-	-	-	-	-	30,863	(29,863)	Complete	1,000	1,000	(1,000)	(1,000)
CRA Boiler Valve Replacement	-	-	-	-	-	-	3,845	-	Complete	3,845	3,845	(3,845)	(3,845)
CRA HVAC Unit (damage repair)	-	-	-	-	-	-	5,698	-	Complete	5,698	5,698	(5,698)	(5,698)
GH HVAC Air Handler	-	-	-	-	-	-	3,401	-	Complete	3,401	3,401	(3,401)	(3,401)
SSC Surge Valve Repair	-	-	-	-	-	-	3,965	-	Complete	3,965	3,965	(3,965)	(3,965)
JEN Furnace Replacement	-	-	-	-	-	-	3,726	-	Complete	3,726	3,726	(3,726)	(3,726)
BSC Main Waterline Repair	-	-	-	-	-	-	27,279	-	Complete	27,279	27,279	(27,279)	(27,279)
GHRC Power Door Replacement	-	-	-	-	-	-	1,750	-	Complete	1,750	1,750	(1,750)	(1,750)
SSC Circulation Pump Motor	-	-	-	-	-	-	4,376	-	Complete	4,376	4,376	(4,376)	(4,376)
TOTAL BUILDING REPLACEMENTS			1,778,323	1,778,323	1,778,323	-	489,946	1,336,305		1,826,250	1,826,250	(47,927)	(47,927)
BUILDING IMPROVEMENTS													
FCSC Safety Shower for HAZMAT Locker	-	-	6,500	6,500	6,500	-	6,325	-	Complete	6,325	6,325	175	175
HMT Comm & Dev - Front Office Improvement	-	-	5,000	5,000	5,000	-	5,000	-	Complete	5,000	5,000	-	-
Administration Office Reconfiguration	-	-	110,000	110,000	110,000	-	162,548	-	Complete	162,548	162,548	(52,548)	(52,548)
TOTAL BUILDING IMPROVEMENTS			121,500	121,500	121,500	-	173,873	-		173,873	173,873	(52,373)	(52,373)
ADA PROJECTS													
ASC Power Door Operator	-	-	2,183	2,183	2,183	-	1,750	-	Complete	1,750	1,750	433	433
GH ADA Sidewalk Addition	-	-	9,000	9,000	9,000	-	9,000	-	Complete	9,000	9,000	-	-
McMillan Park ADA Components	-	-	20,300	20,300	20,300	-	2,436	17,864	Budget	20,300	20,300	-	-
TOTAL ADA PROJECTS			31,483	31,483	31,483	-	13,186	17,864		31,050	31,050	433	433
TOTAL CAPITAL OUTLAY DIVISION	2,431,896	1,405,860	3,904,858	6,336,754	5,310,718	1,002,738	1,794,177	3,041,538		5,838,453	4,835,714	498,301	475,004
INFORMATION SERVICES DEPARTMENT													
INFORMATION TECHNOLOGY REPLACEMENTS													
Workstations/Notebooks	-	-	8,500	8,500	8,500	-	7,597	-	Complete	7,597	7,597	903	903
Server Replacements	-	-	35,000	35,000	35,000	-	33,923	3,182	Award	37,105	37,105	(2,105)	(2,105)
LAN/WAN Replacement	-	-	5,000	5,000	5,000	-	2,119	-	Complete	2,119	2,119	2,881	2,881
Printers/Network Printers	-	-	5,000	5,000	5,000	-	2,700	-	Complete	2,700	2,700	2,300	2,300
TOTAL INFORMATION TECHNOLOGY REPLACEMENTS			53,500	53,500	53,500	-	46,339	3,182		49,521	49,521	3,979	3,979
INFORMATION TECHNOLOGY IMPROVEMENTS													
Misc. Application Software	-	-	20,000	20,000	20,000	-	22,569	-	Complete	22,569	22,569	(2,569)	(2,569)
Workstation and Phone	-	-	14,500	14,500	14,500	-	12,430	-	Complete	12,430	12,430	2,070	2,070
Kronos Upgrade	-	-	22,000	22,000	22,000	-	14,825	-	Complete	14,825	14,825	7,175	7,175
Virtual Desktop Infrastructure	-	-	79,500	79,500	79,500	-	79,878	-	Complete	79,878	79,878	(378)	(378)
FCSC Server Rack/UPS	-	-	7,500	7,500	7,500	-	7,313	-	Complete	7,313	7,313	187	187
FCSC Server Room Security	-	-	4,800	4,800	4,800	-	4,844	-	Complete	4,844	4,844	(44)	(44)
TOTAL INFORMATION TECHNOLOGY IMPROVEMENTS			148,300	148,300	148,300	-	141,859	-		141,859	141,859	6,441	6,441
TOTAL INFORMATION SYSTEMS DEPARTMENT	-	-	201,800	201,800	201,800	-	188,198	3,182		191,380	191,380	10,420	10,420
MAINTENANCE DEPARTMENT													
FLEET REPLACEMENTS													
72" Mowers (3)	-	-	42,000	42,000	42,000	-	41,920	-	Complete	41,920	41,920	80	80
Tire Balancer	-	-	8,500	8,500	8,500	-	9,056	-	Complete	9,056	9,056	(556)	(556)
Electric Utility Vehicle	-	-	12,500	12,500	12,500	-	11,677	-	Complete	11,677	11,677	823	823
52" Mowers (2)	-	-	14,400	14,400	14,400	-	14,196	-	Complete	14,196	14,196	204	204
52" Mower & 2 Trailers	-	-	15,500	15,500	15,500	-	18,795	-	Complete	18,795	18,795	(3,295)	(3,295)
Large Rotary Mower	-	-	62,000	62,000	62,000	-	59,661	-	Complete	59,661	59,661	2,339	2,339
4x4 SUV Hybrid	-	-	43,000	43,000	43,000	-	28,079	-	Complete	28,079	28,079	14,921	14,921
Chipper	-	-	45,000	45,000	45,000	-	44,344	-	Complete	44,344	44,344	656	656
TOTAL FLEET REPLACEMENTS			242,900	242,900	242,900	-	227,728	-		227,728	227,728	15,172	15,172

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Description	Project Budget					Project Expenditures		Estimated Total Costs			Est. Cost (Over) Under Budget		
	Prior Year Budget Amount (1)	Budget Carryover to Current Year (2)	New Funds Budgeted in Current Year (3)	Cumulative Project Budget (1+3)	Current Year Budget Amount (2+3)	Expended Prior Years (4)	Expended Year-to-Date (5)	Estimated Cost to Complete (6)	Basis of Estimate	Project Cumulative (4+5+6)	Current Year (5+6)	Project Cumulative	Current Year
BUILDING MAINTENANCE EQUIPMENT REPLACEMENTS													
CHRC Vacuums & Battery Packs			2,600	2,600	2,600	-	2,598	-	Complete	2,598	2,598	2	2
Conestoga Floor Scrubber			1,900	1,900	1,900	-	1,840	-	Complete	1,840	1,840	60	60
Stuhr Center Wet Dry Vacuum			1,000	1,000	1,000	-	715	-	Complete	715	715	285	285
AC Vacuum & Batteries			1,200	1,200	1,200	-	1,088	-	Complete	1,088	1,088	112	112
TC Sweeper Batteries & Parts			1,100	1,100	1,100	-	755	-	Complete	755	755	345	345
NPIC Pressure Washer & Wand			1,000	1,000	1,000	-	999	-	Complete	999	999	1	1
TOTAL BLDG MAINT EQUIPMENT REPLACEMENTS			8,800	8,800	8,800	-	7,995	-		7,995	7,995	805	805
BUILDING MAINTENANCE IMPROVEMENTS													
Preventive Drain Emergency Response			11,340	11,340	11,340	-	6,632	-	Complete	6,632	6,632	4,708	4,708
Data Collection Tablets			1,200	1,200	1,200	-	985	-	Complete	985	985	215	215
TOTAL BUILDING MAINT IMPROVEMENTS			12,540	12,540	12,540	-	7,617	-		7,617	7,617	4,923	4,923
TOTAL MAINTENANCE DEPARTMENT	-	-	264,240	264,240	264,240	-	243,340	-		243,340	243,340	20,900	20,900
GRAND TOTAL GENERAL FUND	2,431,896	1,405,860	4,370,898	6,802,794	5,776,758	1,002,738	2,225,715	3,044,720		6,273,173	5,270,434	529,621	506,324
SDC FUND													
LAND ACQUISITION													
Land Acquisition (FY 14)	790,000	790,000	-	440,874	440,874	-	19,518	421,356	Budget	440,874	440,874	-	-
Land Acquisition - North Bethany	-	-	1,670,131	1,670,131	1,670,131	-	48,268	1,621,863	Budget	1,670,131	1,670,131	-	-
Land Acquisition - Sth. Cooper Mountain	-	-	-	6,944	6,944	-	6,944	-	Complete	6,944	6,944	-	-
Engels Property Acquisition	-	-	-	342,182	342,182	-	342,182	-	Complete	342,182	342,182	-	-
Summer Falls Property Acquisition	-	-	329,869	329,869	329,869	-	329,869	-	Complete	329,869	329,869	-	-
TOTAL LAND ACQUISITION	790,000	790,000	2,000,000	2,790,000	2,790,000	-	746,781	2,043,219		2,790,000	2,790,000	-	-
DEVELOPMENT/IMPROVEMENT PROJECTS													
Fanno Creek Trail / Scholls Greenwood Inn	2,011,950	60,000	-	2,011,950	60,000	1,946,487	8,064	51,936	Budget	2,006,487	60,000	5,463	-
Bonny Slope / BSD Trail Development	175,000	175,000	325,000	500,000	500,000	-	-	500,000	Budget	500,000	500,000	-	-
MTIP Grant Match - Westside Trail #18	82,205	19,275	201,125	283,330	220,400	73,266	28,149	192,251	Budget	293,666	220,400	(10,336)	-
Graf Meadows Park - Trail Connection	600,000	447,500	-	600,000	447,500	143,244	338,015	45,500	Award	526,759	383,515	73,241	63,985
Future Dog Park Construction - Site to be determined	50,000	50,000	-	50,000	50,000	-	-	50,000	Budget	50,000	50,000	-	-
Fanno Creek Trail - Hall Blvd Crossing	384,250	35,500	50,000	434,250	85,500	176,753	292	40,000	Award	217,045	40,292	217,205	45,208
Timberland Park - Project Management	34,000	17,750	-	34,000	17,750	-	53,173	4,075	Award	57,248	57,248	(23,248)	(39,498)
Jackie Husen Park Expansion - Planning	-	-	83,500	83,500	83,500	-	80,625	2,526	Award	83,151	83,151	349	349
Connect OR Grant / Waterhouse Trail Segment 4	-	-	200,000	200,000	200,000	-	-	-	Canceled	-	-	200,000	200,000
LWCF Grant / Raleigh Park Shelter	-	-	50,000	50,000	50,000	-	-	-	Canceled	-	-	50,000	50,000
LGGP Grant / Terra Linda Park Shelter	-	-	40,000	40,000	40,000	-	-	-	Canceled	-	-	40,000	40,000
LGGP Grant / Roger Tilbury Park Phase 2	-	-	212,500	212,500	212,500	-	-	-	Canceled	-	-	212,500	212,500
Bethany Creek Falls 1 & 2 - Project Management	-	-	120,500	120,500	120,500	-	30,636	89,864	Budget	120,500	120,500	-	-
Bethany Terrace Trail #11 - Project Management	-	-	10,500	10,500	10,500	-	70	10,430	Budget	10,500	10,500	-	-
New Neighborhood Park Master Plans (2)	-	-	150,000	150,000	150,000	-	-	150,000	Budget	150,000	150,000	-	-
New Neighborhood Park Development	-	-	1,500,000	1,500,000	1,500,000	-	-	1,500,000	Budget	1,500,000	1,500,000	-	-
SW Quadrant Community Center - Site Feasibility	-	-	60,000	60,000	60,000	-	-	60,000	Budget	60,000	60,000	-	-
Natural Area Master Plan	-	-	100,000	100,000	100,000	-	-	100,000	Budget	100,000	100,000	-	-
Undesignated Projects	-	-	2,742,793	2,742,793	2,742,793	-	-	2,742,793	Budget	2,742,793	2,742,793	-	-
TOTAL DEVELOPMENT/IMPROVEMENT PROJECTS	3,337,405	805,025	5,845,918	9,183,323	6,650,943	2,339,750	539,024	5,539,375		8,418,149	6,078,399	765,174	572,544
GRAND TOTAL SDC FUND	4,127,405	1,595,025	7,845,918	11,973,323	9,440,943	2,339,750	1,285,805	7,582,594		11,208,149	8,868,399	765,174	572,544

KEY
 Budget Estimate based on original budget - not started and/or no basis for change
 Deferred Some or all of Project has been eliminated to reduce overall capital costs for year.
 Award Estimate based on Contract Award amount or quote price estimates
 Complete Project completed - no additional estimated costs to complete.

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Quadrant	Project Code	Description	Project Budget			Project Expenditures			Estimated Cost to Complete	Basis of Estimate (Completed Phase)	Project Cumulative Cost	Variance		
			Initial Project Budget	Adjustments	Current Total Project Budget FY 14/15	Expended Prior Years	Expended Year-to-Date	Total Expended to Date				Est. Cost (Over) Under Budget	Cost Expended to Budget	Cost Expended to Total Cost
			(1)	(2)	(1+2)=(3)	(4)	(5)	(4+5)=(6)				(7)	(6+7)=(9)	(3-9) = (10)
BOND CAPITAL PROJECTS FUND														
<u>New Neighborhood Parks Development</u>														
SE	91-901	AM Kennedy Park & Athletic Field	1,285,250	50,470	1,335,720	1,686,530	-	1,686,530	-	Complete	1,686,530	(350,810)	126.3%	100.0%
SW	91-902	Barsotti Park & Athletic Field	1,285,250	27,134	1,312,384	1,258,105	-	1,258,105	-	Complete	1,258,105	54,279	95.9%	100.0%
NW	91-903	Hansen Ridge Park (formerly Kaiser Ridge)	771,150	16,035	787,185	753,743	-	753,743	-	Complete	753,743	33,442	95.8%	100.0%
SW	91-904	Roy Dancer Park	771,150	16,308	787,458	651,272	-	651,272	-	Complete	651,272	136,186	82.7%	100.0%
NE	91-905	Roger Tilbury Park	771,150	19,335	790,485	291,348	596,870	888,218	-	Complete	888,218	(97,733)	112.4%	100.0%
Total New Neighborhood Parks Development			4,883,950	129,282	5,013,232	4,640,998	596,870	5,237,868	-		5,237,868	(224,636)	104.5%	100.0%
Authorized Use of Savings from Bond Issuance														
UND		Administration Category	-	224,636	224,636	-	-	-	-	N/A	-	224,636	n/a	n/a
Total New Neighborhood Parks Development			4,883,950	353,918	5,237,868	4,640,998	596,870	5,237,868	-		5,237,868	-	100.0%	100.0%
<u>Renovate & Redevelop Neighborhood Parks</u>														
NE	91-906	Cedar Mill Park, Trail & Athletic Fields	1,125,879	29,166	1,155,045	304,437	689,406	993,843	-	Complete	993,843	161,202	86.0%	100.0%
SE	91-907	Camille Park	514,100	28,634	542,734	585,471	-	585,471	-	Complete	585,471	(42,737)	107.9%	100.0%
NW	91-908	Somerset West Park	1,028,200	27,247	1,055,447	154,298	33,955	188,253	2,328,356	A&E	2,516,609	(1,461,162)	17.8%	7.5%
NW	91-909	Pioneer Park and Bridge Replacement	544,934	21,059	565,993	533,358	-	533,358	-	Complete	533,358	32,635	94.2%	100.0%
SE	91-910	Vista Brook Park	514,100	20,452	534,552	733,500	-	733,500	-	Complete	733,500	(198,948)	137.2%	100.0%
Total Renovate & Redevelop Neighborhood Parks			3,727,213	126,558	3,853,771	2,311,064	723,361	3,034,425	2,328,356		5,362,781	(1,509,010)	78.7%	56.6%
<u>New Neighborhood Parks Land Acquisition</u>														
NW	98-880-a	New Neighborhood Park - NW Quadrant (Biles)	1,500,000	28,467	1,528,467	1,041,404	-	1,041,404	-	Complete	1,041,404	487,063	68.1%	100.0%
NW	98-880-b	New Neighborhood Park - NW Quadrant (Living Hope)	-	-	-	1,060,935	6,789	1,067,724	-	Complete	1,067,724	(1,067,724)	n/a	100.0%
NW	98-880-c	New Neighborhood Park - NW Quadrant (Mitchell)	-	-	-	36,849	692,902	729,751	108,014	Complete	837,765	(837,765)	n/a	87.1%
NW	98-880-d	New Neighborhood Park - NW Quadrant (PGE)	-	-	-	62,712	-	62,712	-	Complete	62,712	(62,712)	n/a	100.0%
NE	98-745-a	New Neighborhood Park - NE Quadrant (Wilson)	1,500,000	27,735	1,527,735	525,108	4,186	529,294	-	Complete	529,294	998,441	34.6%	100.0%
NE	98-745-b	New Neighborhood Park - NE Quadrant (Lehman - formerly undesignated)	1,500,000	31,870	1,531,870	2,094,725	428	2,095,153	38,830	Complete	2,133,983	(602,113)	136.8%	98.2%
SW	98-746-a	New Neighborhood Park - SW Quadrant (Sterling Savings)	1,500,000	24,453	1,524,453	1,058,925	-	1,058,925	-	Complete	1,058,925	465,528	69.5%	100.0%
SW	98-746-b	New Neighborhood Park - SW Quadrant (Altishin)	-	-	-	546,751	1,043	547,794	8,107	Complete	555,901	(555,901)	n/a	98.5%
SW	98-746-c	New Neighborhood Park - SW Quadrant (Hung easement for Roy Dancer Park)	-	-	-	60,006	-	60,006	-	Complete	60,006	(60,006)	n/a	100.0%
SE	98-747	New Neighborhood Park - SE Quadrant (Cobb)	1,500,000	15,547	1,515,547	2,559,230	2,795	2,562,025	66,486	Complete	2,628,511	(1,112,964)	169.0%	97.5%
NW	98-748	New Neighborhood Park (North Bethany) (McGettigan)	1,500,000	23,667	1,523,667	1,629,690	-	1,629,690	-	Complete	1,629,690	(106,023)	107.0%	100.0%
UND	98-749	New Neighborhood Park - Undesignated	-	-	-	-	-	-	-	Reallocated	-	-	n/a	0.0%
Sub-total New Neighborhood Parks			9,000,000	151,739	9,151,739	10,676,335	708,143	11,384,478	221,437		11,605,914	(2,454,175)	124.4%	98.1%
Authorized Use of Savings from New Community Park Land Acquisition Category														
UND			-	1,655,521	1,655,521	-	-	-	-	N/A	-	1,655,521	n/a	n/a
Authorized Use of Savings from Community Center / Community Park Land Acquisition Category														
UND			-	798,654	798,654	-	-	-	-	N/A	-	798,654	n/a	n/a
Total New Neighborhood Parks			9,000,000	2,605,914	11,605,914	10,676,335	708,143	11,384,478	221,437		11,605,914	-	98.1%	98.1%
<u>New Community Park Development</u>														
SW	92-915	SW Quad Community Park & Athletic Field	7,711,500	209,033	7,920,533	167,374	512,112	679,486	11,125,178	Master Plan	11,804,664	(3,884,131)	8.6%	5.8%
Sub-total New Community Park Development			7,711,500	209,033	7,920,533	167,374	512,112	679,486	11,125,178		11,804,664	(3,884,131)	8.6%	5.8%
Outside Funding from Washington County / Metro Transferred from Community Center Land Acquisition														
UND			-	384,251	384,251	-	-	-	-	N/A	-	384,251	n/a	n/a
Total New Community Park Development			7,711,500	593,284	8,304,784	167,374	512,112	679,486	11,125,178		11,804,664	(3,499,880)	8.2%	5.8%

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			Initial Project Budget	Adjustments	Current Total Project Budget FY 14/15	Expended Prior Years	Expended Year-to-Date	Total Expended to Date				Est. Cost (Over) Under Budget	Cost Expended to Budget	
			(1)	(2)	(1+2)=(3)	(4)	(5)	(4+5)=(6)	(7)	(6+7)=(9)	(3-9) = (10)	(6) / (3)	(6)/(9)	
<u>New Community Park Land Acquisition</u>														
NE	98-881-a	New Community Park - NE Quadrant (Teufel)	10,000,000	132,657	10,132,657	8,103,899	-	8,103,899	-	Complete	8,103,899	2,028,758	80.0%	100.0%
NE	98-881-b	Community Park Expansion - NE Quad (BSD/William Walker)	-	-	-	372,655	582	373,237	-	Complete	373,237	(373,237)	n/a	100.0%
Sub-total New Community Park			10,000,000	132,657	10,132,657	8,476,554	582	8,477,136	-		8,477,136	1,655,521	83.7%	100.0%
Authorized Use of Savings for New Neighborhood Parks Land Acquisition Category			-	(1,655,521)	(1,655,521)	-	-	-	-	N/A	-	(1,655,521)	n/a	n/a
Total New Community Park			10,000,000	(1,522,864)	8,477,136	8,476,554	582	8,477,136	-		8,477,136	-	100.0%	100.0%
<u>Renovate and Redevelop Community Parks</u>														
NE	92-916	Cedar Hills Park & Athletic Field	6,194,905	166,269	6,361,174	173,955	49,161	223,116	7,831,060	A&E	8,054,176	(1,693,002)	3.5%	2.8%
SE	92-917	Schiffler Park	3,598,700	72,672	3,671,372	2,647,176	(14,092)	2,633,084	-	Complete	2,633,084	1,038,288	71.7%	100.0%
Total Renovate and Redevelop Community Parks			9,793,605	238,941	10,032,546	2,821,131	35,069	2,856,200	7,831,060		10,687,260	(654,714)	28.5%	26.7%
<u>Natural Area Preservation - Restoration</u>														
NE	97-963	Roger Tilbury Memorial Park	30,846	828	31,674	1,310	47	1,357	30,317	Planning	31,674	-	4.3%	4.3%
NE	97-964	Cedar Mill Park	30,846	835	31,681	193	8	201	9,799	Planning	10,000	21,681	0.6%	2.0%
NE	97-965	Jordan/Jackie Husen Park	308,460	8,275	316,735	24,317	5,589	29,906	27,494	Planting	57,400	259,335	9.4%	52.1%
NW	97-966	NE/Bethany Meadows Trail Habitat Connection	246,768	6,693	253,461	-	-	-	253,461	On Hold	253,461	-	0.0%	0.0%
NW	97-967	Hansen Ridge Park (formerly Kaiser Ridge)	10,282	243	10,525	8,186	-	8,186	4,814	Preparation	13,000	(2,475)	77.8%	63.0%
NW	97-968	Allenbach Acres Park	41,128	1,094	42,222	3,514	2,000	5,514	36,076	Planning	41,590	632	13.1%	13.3%
NW	97-969	Crystal Creek Park	205,640	5,530	211,170	5,374	27	5,401	94,599	Preparation	100,000	111,170	2.6%	5.4%
NE	97-970	Foothills Park	61,692	1,143	62,835	46,178	-	46,178	-	Complete	46,178	16,657	73.5%	100.0%
NE	97-971	Commonwealth Lake Park	41,128	759	41,887	30,809	-	30,809	-	Complete	30,809	11,078	73.6%	100.0%
NW	97-972	Tualatin Hills Nature Park	90,800	2,278	93,078	27,696	-	27,696	-	Complete	27,696	65,382	29.8%	100.0%
NE	97-973	Pioneer Park	10,282	233	10,515	7,490	364	7,854	2,593	Preparation	10,447	68	74.7%	75.2%
NW	97-974	Whispering Woods Park	51,410	897	52,307	48,871	-	48,871	-	Complete	48,871	3,436	93.4%	100.0%
NW	97-975	Willow Creek Nature Park	20,564	383	20,947	21,877	-	21,877	-	Complete	21,877	(930)	104.4%	100.0%
SE	97-976	AM Kennedy Park	30,846	667	31,513	24,695	1,353	26,048	6,652	Planting	32,700	(1,187)	82.7%	79.7%
SE	97-977	Camille Park	77,115	1,648	78,763	59,248	1,951	61,199	11,154	Planting	72,353	6,410	77.7%	84.6%
SE	97-978	Vista Brook Park	20,564	548	21,112	3,044	-	3,044	17,456	Planting	20,500	612	14.4%	14.8%
SE	97-979	Greenway Park/Koll Center	61,692	1,576	63,268	30,704	7,437	38,141	24,859	Preparation	63,000	268	60.3%	60.5%
SE	97-980	Bauman Park	82,256	1,984	84,240	30,134	19	30,153	-	Complete	30,153	54,087	35.8%	100.0%
SE	97-981	Fanno Creek Park	162,456	4,368	166,824	5,022	125	5,147	64,853	Preparation	70,000	96,824	3.1%	7.4%
SE	97-982	Hideaway Park	41,128	976	42,104	30,949	3,321	34,270	7,687	Planting	41,957	147	81.4%	81.7%
SW	97-983	Murrayhill Park	61,692	1,014	62,706	65,706	6	65,712	-	Complete	65,712	(3,006)	104.8%	100.0%
SE	97-984	Hyland Forest Park	71,974	1,316	73,290	58,821	3,300	62,121	-	Complete	62,121	11,169	84.8%	100.0%
SW	97-985	Cooper Mountain	205,640	5,577	211,217	14	-	14	211,203	On Hold	211,217	-	0.0%	0.0%
SW	97-986	Winkelman Park	10,282	237	10,519	5,894	-	5,894	-	Complete	5,894	4,625	56.0%	100.0%
SW	97-987	Lowami Hart Woods	287,896	7,680	295,576	36,144	59,762	95,906	69,094	Preparation	165,000	130,576	32.4%	58.1%
SW	97-988	Rosa/Hazeldale Parks	28,790	708	29,498	11,563	1,191	12,754	-	Complete	12,754	16,744	43.2%	100.0%
SW	97-989	Mt Williams Park	102,820	2,787	105,607	244	-	244	105,363	Planning	105,607	-	0.2%	0.2%
SW	97-990	Jenkins Estate	154,230	3,309	157,539	128,915	3,786	132,701	-	Complete	132,701	24,838	84.2%	100.0%
SW	97-991	Summercrest Park	10,282	188	10,470	7,987	-	7,987	-	Complete	7,987	2,483	76.3%	100.0%
SW	97-992	Morrison Woods	61,692	1,672	63,364	0	-	0	63,364	On Hold	63,364	-	0.0%	0.0%
UND	97-993	Interpretive Sign Network	339,306	8,697	348,003	159,784	136,067	295,851	-	Sign Fabrication	339,300	8,703	85.0%	87.2%
NW	97-994	Beaverton Creek Trail	61,692	1,673	63,365	-	-	-	63,365	On Hold	63,365	-	0.0%	0.0%
NW	97-995	Bethany Wetlands/Bronson Creek	41,128	1,116	42,244	-	-	-	42,244	On Hold	42,244	-	0.0%	0.0%
NW	97-996	Bluegrass Downs Park	15,423	418	15,841	-	-	-	15,841	On Hold	15,841	-	0.0%	0.0%
NW	97-997	Crystal Creek	41,128	1,116	42,244	-	-	-	42,244	On Hold	42,244	-	0.0%	0.0%
UND	N/A	Reallocation of project savings to new project budgets	-	(865,000)	(865,000)	-	-	-	-	Reallocation	0	(865,000)	0.0%	0.0%
SE	97-870	Hyland Woods Phase 2	-	45,000	45,000	-	-	-	45,000	Budget	45,000	-	0.0%	0.0%
SW	97-871	Jenkins Estate Phase 2	-	125,000	125,000	-	-	-	125,000	Budget	125,000	-	0.0%	0.0%
NW	97-872	Somerset	-	150,000	150,000	-	-	-	150,000	Budget	150,000	-	0.0%	0.0%
NW	97-873	Rock Creek Greenway	-	155,000	155,000	-	-	-	155,000	Budget	155,000	-	0.0%	0.0%
NW	97-874	Whispering Woods Phase 2	-	125,000	125,000	-	-	-	125,000	Budget	125,000	-	0.0%	0.0%

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Quar- rant	Project Code	Description	Project Budget			Project Expenditures			Estimated Cost to Complete	Basis of Estimate (Completed Phase)	Project Cumulative Cost	Variance		Cost Expended to Total Cost
			Initial Project Budget	Adjustments	Current Total Project Budget FY 14/15	Expended Prior Years	Expended Year-to-Date	Total Expended to Date				Est. Cost (Over) Under Budget	Cost Expended to Budget	
			(1)	(2)	(1+2)=(3)	(4)	(5)	(4+5)=(6)	(7)		(6+7)=(9)	(3-9) = (10)	(6) / (3)	(6)/(9)
SE	97-875	Raleigh Park	-	110,000	110,000	-	-	-	110,000	Budget	110,000	-	0.0%	0.0%
NE	97-876	Bannister Creek Greenway/NE Park	-	75,000	75,000	-	-	-	75,000	Budget	75,000	-	0.0%	0.0%
NW	97-877	Beaverton Creek Greenway Duncan	-	20,000	20,000	-	-	-	20,000	Budget	20,000	-	0.0%	0.0%
SE	97-878	Church of Nazarene	-	30,000	30,000	-	-	-	30,000	Budget	30,000	-	0.0%	0.0%
SW	97-879	Lilly K. Johnson Woods	-	30,000	30,000	-	-	-	30,000	Budget	30,000	-	0.0%	0.0%
UND	97-914	Restoration of new properties to be acquired	643,023	17,440	660,463	598	6,574	7,172	627,618	On Hold	634,790	25,673	1.1%	1.1%
		Total Natural Area Restoration	3,762,901	95,906	3,858,807	885,281	232,927	1,118,208	2,740,598		3,858,807	-	29.0%	29.0%
		Natural Area Preservation - Land Acquisition												
UND	98-882	Natural Area Acquisitions	8,400,000	202,355	8,602,355	3,962,232	502,535	4,464,767	4,137,588	Budget	8,602,355	-	51.9%	51.9%
		Total Natural Area Preservation - Land Acquisition	8,400,000	202,355	8,602,355	3,962,232	502,535	4,464,767	4,137,588		8,602,355	-	51.9%	51.9%
		New Linear Park and Trail Development												
SW	93-918	Westside Trail Segments 1, 4, & 7	4,267,030	83,702	4,350,732	4,395,221	-	4,395,221	-	Complete	4,395,221	(44,489)	101.0%	100.0%
NE	93-920	Jordan/Husen Park Trail	1,645,120	45,644	1,690,764	1,227,496	-	1,227,496	-	Complete	1,227,496	463,268	72.6%	100.0%
NW	93-924	Waterhouse Trail Segments 1, 5 & West Spur	3,804,340	77,258	3,881,598	4,311,409	106,293	4,417,702	-	Complete	4,417,702	(536,104)	113.8%	100.0%
NW	93-922	Rock Creek Trail #5 & Allenbach, North Bethany #2	2,262,040	76,231	2,338,271	1,729,048	4,983	1,734,031	790,465	On Hold	2,524,496	(186,225)	74.2%	68.7%
UND	93-923	Miscellaneous Natural Trails	100,000	2,480	102,480	29,454	940	30,394	72,086	Budget	102,480	-	29.7%	29.7%
NW	91-912	Nature Park - Old Wagon Trail	359,870	3,094	362,964	238,702	-	238,702	-	Complete	238,702	124,262	65.8%	100.0%
NE	91-913	NE Quadrant Trail - Bluffs Phase 2	257,050	14,714	271,764	414,817	-	414,817	-	Complete	414,817	(143,053)	152.6%	100.0%
SW	93-921	Lowami Hart Woods	822,560	55,532	878,092	1,271,006	(12,260)	1,258,746	-	Complete	1,258,746	(380,654)	143.4%	100.0%
NW	91-911	Westside - Waterhouse Trail Connection	1,542,300	40,346	1,582,646	197,910	152,633	350,543	635,812	Design Dev	986,355	596,291	22.1%	35.5%
		Total New Linear Park and Trail Development	15,060,310	399,001	15,459,311	13,815,063	252,589	14,067,652	1,498,363		15,566,015	(106,704)	91.0%	90.4%
		New Linear Park and Trail Land Acquisition												
UND	98-883	New Linear Park and Trail Acquisitions	1,200,000	22,858	1,222,858	1,193,314	22,757	1,216,071	6,787	Budget	1,222,858	-	99.4%	99.4%
		Total New Linear Park and Trail Land Acquisition	1,200,000	22,858	1,222,858	1,193,314	22,757	1,216,071	6,787		1,222,858	-	99.4%	99.4%
		Multi-field/Multi-purpose Athletic Field Development												
SW	94-925	Winkelman Athletic Field	514,100	34,434	548,534	941,843	-	941,843	-	Complete	941,843	(393,309)	171.7%	100.0%
SE	94-926	Meadow Waye Park	514,100	4,791	518,891	407,340	-	407,340	-	Complete	407,340	111,551	78.5%	100.0%
NW	94-927	New Fields in NW Quadrant	514,100	13,943	528,043	75	-	75	527,968	Budget	528,043	-	0.0%	0.0%
NE	94-928	New Fields in NE Quadrant (Cedar Mill Park)	514,100	13,893	527,993	5,192	522,801	527,993	-	Complete	527,993	-	100.0%	100.0%
SW	94-929	New Fields in SW Quadrant	514,100	13,933	528,033	669	-	669	527,364	Budget	528,033	-	0.1%	0.1%
SE	94-930	New Fields in SE Quadrant (Conestoga Middle School)	514,100	13,944	528,044	123	35,228	35,351	474,395	A&E	509,746	18,298	6.7%	6.9%
		Total Multi-field/Multi-purpose Athletic Field Dev.	3,084,600	94,938	3,179,538	1,355,242	558,029	1,913,271	1,529,727		3,442,998	(263,460)	60.2%	55.6%
		Deferred Park Maintenance Replacements												
UND	96-960	Play Structure Replacements at 11 sites	810,223	3,685	813,908	772,530	350	772,880	-	Complete	772,880	41,028	95.0%	100.0%
NW	96-720	Bridge/boardwalk replacement - Willow Creek	96,661	1,276	97,937	127,277	-	127,277	-	Complete	127,277	(29,340)	130.0%	100.0%
SW	96-721	Bridge/boardwalk replacement - Rosa Park	38,909	369	39,278	38,381	-	38,381	-	Complete	38,381	897	97.7%	100.0%
SW	96-722	Bridge/boardwalk replacement - Jenkins Estate	7,586	34	7,620	28,430	-	28,430	-	Complete	28,430	(20,810)	373.1%	100.0%
SE	96-723	Bridge/boardwalk replacement - Hartwood Highlands	10,767	134	10,901	985	-	985	-	Cancelled	985	9,916	9.0%	100.0%
NE	96-998	Irrigation Replacement at Roxbury Park	48,854	63	48,917	41,902	-	41,902	-	Complete	41,902	7,015	85.7%	100.0%
UND	96-999	Pedestrian Path Replacement at 3 sites	116,687	150	116,837	118,039	-	118,039	-	Complete	118,039	(1,202)	101.0%	100.0%
SW	96-948	Permeable Parking Lot at Aloha Swim Center	160,914	1,515	162,429	191,970	-	191,970	-	Complete	191,970	(29,541)	118.2%	100.0%
NE	96-947	Permeable Parking Lot at Sunset Swim Center	160,914	3,401	164,315	512,755	(320)	512,435	-	Complete	512,435	(348,120)	311.9%	100.0%
		Sub-total Deferred Park Maintenance Replacements	1,451,515	10,627	1,462,142	1,832,269	30	1,832,299	-		1,832,299	(370,157)	1321.5%	900.0%
UND		Authorized Use of Savings from Facility Expansion & Improvements Category	-	177,920	177,920	-	-	-	-	N/A	-	177,920	n/a	n/a
UND		Authorized Use of Savings from Bond Issuance Administration Category	-	192,237	192,237	-	-	-	-	N/A	-	192,237	n/a	n/a
		Total Deferred Park Maintenance Replacements	1,451,515	380,784	1,832,299	1,832,269	30	1,832,299	-		1,832,299	-	100.0%	100.0%

Tualatin Hills Park and Recreation District
Monthly Bond Capital Projects Report
Estimated Cost vs. Budget
Through 6/30/2015

Quadrant	Project Code	Description	Project Budget			Project Expenditures			Estimated Cost to Complete	Basis of Estimate (Completed Phase)	Project Cumulative Cost	Variance		Cost Expended to Total Cost
			Initial Project Budget	Adjustments	Current Total Project Budget FY 14/15	Expended Prior Years	Expended Year-to-Date	Total Expended to Date				Est. Cost (Over) Under Budget	Cost Expended to Budget	
			(1)	(2)	(1+2)=(3)	(4)	(5)	(4+5)=(6)	(7)	(6+7)=(9)	(3-9) = (10)	(6) / (3)	(6)/(9)	
Facility Rehabilitation														
UND	95-931	Structural Upgrades at Several Facilities	317,950	(195,027)	122,923	109,345	1,559	110,904	-	Complete	110,904	12,019	90.2%	100.0%
SW	95-932	Structural Upgrades at Aloha Swim Center	406,279	8,432	414,711	518,302	-	518,302	-	Complete	518,302	(103,591)	125.0%	100.0%
SE	95-933	Structural Upgrades at Beaverton Swim Center	1,447,363	35,101	1,482,464	775,636	44,371	820,007	49,325	Const Docs	869,332	613,132	55.3%	94.3%
NE	95-934	Structural Upgrades at Cedar Hills Recreation Center	628,087	16,739	644,826	46,749	67,779	114,528	377,118	Const Docs	491,646	153,180	17.8%	23.3%
SW	95-935	Structural Upgrades at Conestoga Rec/Aquatic Ctr	44,810	833	45,643	66,762	-	66,762	-	Complete	66,762	(21,119)	146.3%	100.0%
SE	95-937	Structural Upgrades at Garden Home Recreation Center	486,935	13,206	500,141	11,234	2,479	13,713	627,135	Master Planning	640,848	(140,707)	2.7%	2.1%
SE	95-938	Structural Upgrades at Harman Swim Center	179,987	2,779	182,766	73,115	-	73,115	-	Complete	73,115	109,651	40.0%	100.0%
NW	95-939-a	Structural Upgrades at HMT/50 Mtr Pool/Aquatic Ctr	312,176	4,692	316,868	233,369	-	233,369	-	Complete	233,369	83,499	73.6%	100.0%
NW	95-939-b	Structural Upgrades at HMT Aquatic Ctr - Roof Replacement	-	200,000	200,000	-	1,247	1,247	198,753	Master Planning	200,000	-	0.0%	0.0%
NW	95-940	Structural Upgrades at HMT Administration Building	397,315	6,080	403,395	299,599	-	299,599	-	Complete	299,599	103,796	74.3%	100.0%
NW	95-941	Structural Upgrades at HMT Athletic Center	65,721	85	65,806	66,000	-	66,000	-	Complete	66,000	(194)	100.3%	100.0%
NW	95-942	Structural Upgrades at HMT Dryland Training Ctr	116,506	2,101	118,607	75,686	-	75,686	-	Complete	75,686	42,921	63.8%	100.0%
NW	95-943	Structural Upgrades at HMT Tennis Center	268,860	4,949	273,809	74,804	-	74,804	-	Complete	74,804	199,005	27.3%	100.0%
SE	95-944	Structural Upgrades at Raleigh Swim Center	4,481	6	4,487	5,703	-	5,703	-	Complete	5,703	(1,216)	127.1%	100.0%
NW	95-945	Structural Upgrades at Somerset Swim Center	8,962	12	8,974	9,333	-	9,333	-	Complete	9,333	(359)	104.0%	100.0%
NE	95-950	Sunset Swim Center Structural Upgrades	1,028,200	16,245	1,044,445	628,419	-	626,419	-	Complete	626,419	418,026	60.0%	100.0%
NE	95-951	Sunset Swim Center Pool Tank	514,100	275	514,375	308,574	-	308,574	-	Complete	308,574	205,801	60.0%	100.0%
UND	95-962	Auto Gas Meter Shut Off Valves at All Facilities	-	-	-	-	6,743	6,743	24,673	Const Docs	31,416	(31,416)	0.0%	21.5%
Total Facility Rehabilitation			6,227,732	116,508	6,344,240	3,300,630	124,178	3,424,808	1,277,004		4,701,812	1,642,428	54.0%	72.8%
Facility Expansion and Improvements														
SE	95-952	Elsie Stuhr Center Expansion & Structural Improvements	1,997,868	30,311	2,028,179	2,039,367	-	2,039,367	-	Complete	2,039,367	(11,188)	100.6%	100.0%
SW	95-953	Conestoga Rec/Aquatic Expansion & Splash Pad	5,449,460	83,658	5,533,118	5,435,930	-	5,435,930	-	Complete	5,435,930	97,188	98.2%	100.0%
SW	95-954	Aloha ADA Dressing Rooms	123,384	158	123,542	178,764	-	178,764	-	Complete	178,764	(55,222)	144.7%	100.0%
NW	95-955	Aquatics Center ADA Dressing Rooms	133,666	1,083	134,749	180,540	-	180,540	-	Complete	180,540	(45,791)	134.0%	100.0%
NE	95-956	Athletic Center HVAC Upgrades	514,100	654	514,754	321,821	-	321,821	-	Complete	321,821	192,933	62.5%	100.0%
Sub-total Facility Expansion and Improvements			8,218,478	115,864	8,334,342	8,156,422	-	8,156,422	-		8,156,422	177,920	97.9%	100.0%
UND		Authorized Use of Savings for Deferred Park Maintenance Replacements Category	-	(177,920)	(177,920)	-	-	-	-	N/A	-	(177,920)	n/a	n/a
Total Facility Expansion and Improvements			8,218,478	(62,056)	8,156,422	8,156,422	-	8,156,422	-		8,156,422	-	100.0%	100.0%
ADA/Access Improvements														
NW	95-957	HMT ADA Parking & other site improvement	735,163	19,029	754,192	165,254	790,532	955,786	77,735	Bid Award	1,033,521	(279,329)	126.7%	92.5%
UND	95-958	ADA Improvements - undesignated funds	116,184	2,663	118,847	72,245	-	72,245	-	Complete	72,245	46,602	60.8%	100.0%
SW	95-730	ADA Improvements - Barrows Park	8,227	104	8,331	6,825	-	6,825	-	Complete	6,825	1,506	81.9%	100.0%
NW	95-731	ADA Improvements - Bethany Lake Park	20,564	194	20,758	25,566	-	25,566	-	Complete	25,566	(4,808)	123.2%	100.0%
NE	95-732	ADA Improvements - Cedar Hills Recreation Center	8,226	130	8,356	8,255	-	8,255	-	Complete	8,255	101	98.8%	100.0%
NE	95-733	ADA Improvements - Forest Hills Park	12,338	197	12,535	23,416	-	23,416	-	Complete	23,416	(10,881)	186.8%	100.0%
SE	95-734	ADA Improvements - Greenway Park	15,423	196	15,619	-	-	-	-	Cancelled	-	15,619	0.0%	0.0%
SW	95-735	ADA Improvements - Jenkins Estate	16,450	262	16,712	11,550	-	11,550	-	Complete	11,550	5,162	69.1%	100.0%
SW	95-736	ADA Improvements - Lawndale Park	30,846	40	30,886	16,626	-	16,626	-	Complete	16,626	14,260	53.8%	100.0%
NE	95-737	ADA Improvements - Lost Park	15,423	245	15,668	15,000	-	15,000	-	Complete	15,000	668	95.7%	100.0%
NW	95-738	ADA Improvements - Rock Crk Pwline Prk (Soccer Fld)	20,564	327	20,891	17,799	-	17,799	-	Complete	17,799	3,092	85.2%	100.0%
NW	95-739	ADA Improvements - Skyview Park	5,140	82	5,222	7,075	-	7,075	-	Complete	7,075	(1,853)	135.5%	100.0%
NW	95-740	ADA Improvements - Waterhouse Powerline Park	8,226	176	8,402	8,402	-	8,402	-	Complete	8,402	-	100.0%	100.0%
NE	95-741	ADA Improvements - West Sylvan Park	5,140	82	5,222	5,102	-	5,102	-	Complete	5,102	120	97.7%	100.0%
SE	95-742	ADA Improvements - Wonderland Park	10,282	163	10,445	4,915	-	4,915	-	Complete	4,915	5,530	47.1%	100.0%
Total ADA/Access Improvements			1,028,196	23,890	1,052,086	388,030	790,532	1,178,562	77,735		1,256,297	(204,210)	112.0%	93.8%
UND		Authorized Use of Savings from Bond Issuance Administration Category	-	204,210	204,210	-	-	-	-	N/A	-	204,210	n/a	n/a
Total ADA/Access Improvements			1,028,196	228,100	1,256,296	388,030	790,532	1,178,562	77,735		1,256,297	-	93.8%	93.8%

Tualatin Hills Park and Recreation District
Monthly Bond Capital Projects Report
Estimated Cost vs. Budget
Through 6/30/2015

Quar- rant	Project Code	Description	Project Budget			Project Expenditures			Estimated Cost to Complete	Basis of Estimate (Completed Phase)	Project Cumulative Cost	Variance		Cost Expended to Total Cost
			Initial Project Budget	Adjustments	Current Total Project Budget FY 14/15	Expended Prior Years	Expended Year-to-Date	Total Expended to Date				Est. Cost (Over) Under Budget	Cost Expended to Budget	
			(1)	(2)	(1+2)=(3)	(4)	(5)	(4+5)=(6)	(7)		(6+7)=(9)	(3-9) = (10)	(6) / (3)	(6)/(9)
Community Center Land Acquisition														
		Community Center / Community Park (SW Quadrant) (Hulse/BSD/Engel)	5,000,000	103,517	5,103,517	853,224	691,505	1,544,729	24,107	Complete	1,568,836	3,534,681	30.3%	98.5%
UND	98-884-a	Community Center / Community Park (SW Quadrant) (Wenzel/Wall)	-	-	-	2,322,745	29,032	2,351,776	-	Complete	2,351,776	(2,351,776)	n/a	100.0%
Sub-total Community Center Land Acquisition			5,000,000	103,517	5,103,517	3,175,969	720,537	3,896,505	24,107		3,920,612	1,182,905	76.3%	99.4%
UND		Outside Funding from Washington County Transferred to New Community Park Development	-	(176,000)	(176,000)	-	-	-	-	N/A	-	(176,000)	n/a	n/a
UND		Outside Funding from Metro Transferred to New Community Park Development	-	(208,251)	(208,251)	-	-	-	-	N/A	-	(208,251)	n/a	n/a
UND		Authorized Use of Savings for New Neighborhood Parks Land Acquisition Category	-	(798,654)	(798,654)	-	-	-	-	N/A	-	(798,654)	n/a	n/a
Total Community Center Land Acquisition			5,000,000	(1,079,388)	3,920,612	3,175,969	720,537	3,896,505	24,107		3,920,612	-	99.4%	99.4%
Bond Administration Costs														
ADM		Debt Issuance Costs	1,393,000	(539,654)	853,346	24,772	43,370	68,142	-	Complete	68,142	785,204	8.0%	100.0%
ADM		Bond Accountant Personnel Costs	-	241,090	241,090	197,330	84,273	281,603	5,722	Budget	287,326	(46,236)	116.8%	98.0%
ADM		Deputy Director of Planning Personnel Costs	-	57,454	57,454	57,454	-	57,454	-	Complete	57,454	-	n/a	100.0%
ADM		Communications Support	-	50,000	50,000	12,675	-	12,675	37,325	Budget	50,000	-	25.4%	25.4%
ADM		Technology Needs	18,330	-	18,330	23,952	-	23,952	-	Complete	23,952	(5,622)	130.7%	100.0%
ADM		Office Furniture	7,150	-	7,150	5,378	-	5,378	-	Complete	5,378	1,772	75.2%	100.0%
ADM		Admin/Consultant Costs	31,520	-	31,520	48,093	-	48,093	-	Complete	48,093	(16,573)	152.6%	100.0%
ADM		Additional Bond Proceeds	-	1,507,717	1,507,717	-	-	-	1,507,717	Budget	1,507,717	-	0.0%	0.0%
Sub-total Bond Administration Costs			1,450,000	1,316,607	2,766,607	369,654	127,643	497,297	1,550,764		2,048,062	718,545	18.0%	24.3%
UND		Authorized Use of Savings for Deferred Park Maintenance Replacements Category	-	(192,237)	(192,237)	-	-	-	-	N/A	-	(192,237)	n/a	n/a
UND		Authorized Use of Savings for New Neighborhood Parks Development Category	-	(224,636)	(224,636)	-	-	-	-	N/A	-	(224,636)	n/a	n/a
UND		Authorized Use of Savings for ADA/Access Improvements Category	-	(204,210)	(204,210)	-	-	-	-	N/A	-	(204,210)	n/a	n/a
Total Bond Administration Costs			1,450,000	695,524	2,145,524	369,654	127,643	497,297	1,550,764		2,048,062	97,462	23.2%	24.3%
Grand Total			100,000,000	3,490,281	103,490,281	67,527,561	5,907,894	73,435,455	34,348,705		107,784,159	(4,293,878)	71.0%	68.1%

THPRD Bond Capital Program
Funds Reprogramming Analysis - Based on Category Transfer Eligibility
As of 6/30/2015

		Category (Over) Under Budget
Limited Reprogramming		
Land: New Neighborhood Park		-
New Community Park		-
New Linear Park		-
New Community Center/Park		-
		-
		-
Nat Res: Restoration		-
Acquisition		-
		-
		-
All Other		
New Neighborhood Park Dev		-
Neighborhood Park Renov		(1,509,010)
New Community Park Dev		(3,499,880)
Community Park Renov		(654,714)
New Linear Parks and Trails		(106,704)
Athletic Field Development		(263,460)
Deferred Park Maint Replace		-
Facility Rehabilitation		1,642,428
ADA		-
Facility Expansion		-
Bond Admin Costs		97,462
		(4,293,878)
		(4,293,878)
Grand Total		(4,293,878)



MEMORANDUM

Date: July 22, 2015
 To: Board of Directors
 From: Keith Hobson, Director of Business and Facilities
 Re: **System Development Charge Report for May, 2015**

The Board of Directors approved a resolution implementing the System Development Charge program on November 17, 1998. Below please find the various categories for SDC's, i.e., Single Family, Multiple Family and Non-residential Development. Also listed are the collection amounts for both the City of Beaverton and Washington County, and the 1.6% handling fee for collections through May 2015.

Type of Dwelling Unit	Current SDC per Type of Dwelling Unit
Single Family	\$6,450.00 with 1.6% discount = \$6,346.80
Multi-Family	\$4,824.00 with 1.6% discount = \$4,746.82
Non-residential	\$167.00 with 1.6% discount = \$164.33

<u>City of Beaverton Collection of SDCs</u>		<u>Receipts</u>	<u>Collection Fee</u>	<u>Total Revenue</u>
2,882	Single Family Units	\$8,510,462.57	\$226,539.79	\$8,737,002.36
15	Single Family Units at \$489.09	\$7,336.35	\$221.45	\$7,557.80
1,582	Multi-family Units	\$3,359,442.57	\$93,831.20	\$3,453,273.77
0	Less Multi-family credits	(\$7,957.55)	(\$229.36)	(\$8,186.91)
243	Non-residential	\$603,878.03	\$17,072.65	\$620,950.68
4,722		\$12,473,161.97	\$337,435.73	\$12,810,597.70

<u>Washington County Collection of SDCs</u>		<u>Receipts</u>	<u>Collection Fee</u>	<u>Total Revenue</u>
7,649	Single Family Units	\$24,511,429.88	\$608,945.19	\$25,120,375.07
-300	Less Credits	(\$623,548.98)	(\$19,285.02)	(\$642,834.00)
2,692	Multi-family Units	\$7,187,045.39	\$178,255.02	\$7,365,300.41
-24	Less Credits	(\$47,323.24)	(\$1,463.61)	(\$48,786.85)
133	Non-residential	\$612,461.95	\$15,291.37	\$627,753.32
10,150		\$31,640,065.00	\$781,742.95	\$32,421,807.95

<u>Recap by Agency</u>		<u>Percent</u>	<u>Receipts</u>	<u>Collection Fee</u>	<u>Total Revenue</u>
4,722	City of Beaverton	28.32%	\$12,473,161.97	\$337,435.73	\$12,810,597.70
10,150	Washington County	71.68%	\$31,640,065.00	\$781,742.95	\$32,421,807.95
14,872		100.00%	\$44,113,226.97	\$1,119,178.68	\$45,232,405.65

System Development Charge Report, May 2015

<u>Recap by Dwelling</u>	<u>Single Family</u>	<u>Multi-Family</u>	<u>Non-Resident</u>	<u>Total</u>
City of Beaverton	2,897	1,582	243	4,722
Washington County	<u>7,349</u>	<u>2,668</u>	<u>133</u>	<u>10,150</u>
	<u>10,246</u>	<u>4,250</u>	<u>376</u>	<u>14,872</u>

Total Receipts to Date **\$44,113,226.97**

Total Payments to Date

Refunds	(\$2,066,073.93)	
Administrative Costs	(\$18.65)	
Project Costs -- Development	(\$22,348,261.69)	
<u>Project Costs -- Land Acquisition</u>	<u>(\$9,935,018.54)</u>	<u>(\$34,349,372.81)</u>
		<u>\$9,763,854.16</u>

<u>Recap by Month, FY 2014/15</u>	<u>Receipts</u>	<u>Expenditures</u>	<u>Interest</u>	<u>SDC Fund Total</u>
through June 2014	\$39,401,807.67	(\$33,486,508.43)	\$2,080,328.32	\$7,995,627.56
July	\$362,365.38	(\$20,803.83)	\$3,301.39	\$344,862.94
August	\$987,171.47	(\$393,225.74)	\$3,456.91	\$597,402.64
September	\$249,346.55	(\$17,712.96)	\$3,674.53	\$235,308.12
October	\$873,400.03	(\$68,315.30)	\$4,075.89	\$809,160.62
November	\$194,447.92	(\$169,805.23)	\$3,793.85	\$28,436.54
December	\$295,672.24	(\$81,256.31)	\$4,059.49	\$218,475.42
January	\$418,767.88	(\$17,647.24)	\$4,160.44	\$405,281.08
February	\$265,694.78	\$3,702.09	\$3,793.74	\$273,190.61
March	\$343,046.22	(\$25,006.05)	\$4,461.20	\$322,501.37
April	\$368,592.81	(\$26,144.00)	\$4,427.03	\$346,875.84
May	\$352,914.02	(\$46,649.81)	\$4,704.39	\$310,968.60
June	\$0.00	\$0.00	\$0.00	\$0.00
	<u>\$44,113,226.97</u>	<u>(\$34,349,372.81)</u>	<u>\$2,124,237.18</u>	<u>\$11,888,091.34</u>

<u>Recap by Month, by Unit</u>	<u>Single Family</u>	<u>Multi-Family</u>	<u>Non-Residential</u>	<u>Total Units</u>
through June 2014	9,738	3,809	359	13,906
July	47	24	5	76
August	18	217	2	237
September	27	27	2	56
October	52	146	0	198
November	35	1	1	37
December	53	0	1	54
January	77	0	1	78
February	43	4	3	50
March	48	15	0	63
April	55	0	1	56
May	54	6	1	61
June	0	0	0	0
	<u>10,247</u>	<u>4,249</u>	<u>376</u>	<u>14,872</u>

Projected SDC balance as of June 30, 2014 per the budget was \$6,458,262. Actual balance was \$7,635,896. This fiscal year's projected total receipts per the budget are \$2,982,681.

What's going on in downtown Beaverton?

DIVE-IN MOVIE: DISNEY'S 'MALEFICENT'

Harman Swim Center starts the summer with an event that's fun for all — a Dive-In Movie, in this case, Disney's "Maleficent." The swim center is at 7300 S.W. Scholls Ferry Road. Admission is \$4 per person or \$12 per household. Children under 7 must be accompanied by a parent or guardian in the water. Spectators can enjoy the film from the deck. The event is June 19 from 6:30 until 8:30. For more information, visit thprd.org.

WIPEOUT AT ALOHA SWIM CENTER

From June 19-21, Aloha Swim Center hosts WipeOut, giving youngsters the chance to experience the thrill of the Aqua Challenge, an inflatable obstacle course. The Aloha Swim Center is located at 18650 S.W. Kinnaman Road in Aloha. For times, dates and more information, visit thprd.org.

ROGER TILBURY MEMORIAL PARK DEDICATION

From 2 to 4 p.m. June 20, join in the dedication of the newest Tualatin Hills Park & Recreation District park, Roger Tilbury Memorial Park in Cedar Mill. It's a free event and you can enjoy food, fun and prizes. The park is located at 965 N.W. 93rd Ave. For more information, visit thprd.org.

BACK TO THE '50S

To celebrate Tualatin Hills Park & Recreation District's 60th anniversary, the historic Beaverton Swim Center will hold "Back to the '50s," which features a public open swim for the 1950s-era price of only 25 cents. Enjoy a hot dog meal, anniversary cake and door prizes. The event, is scheduled from 2 to 4 p.m. June 27



Beaverton Swim Center in 1957.

at the swim center, 12850 S.W. Third Ave. For more information, visit thprd.org.

CONCERTS IN THE PARK KICK-OFF

— With a unique, high-energy band of blues, soul, funk and rock, 'Ants in the Kitchen' kicks off Tualatin Hills Park & Recreation District's summer concert series from 6 to 8 p.m. July 2 at Arnold Park, 4155 S.W. 182nd Ave. in Aloha. General admission tickets are \$10 and can be purchased online at thprd.org/groovin. Tickets at the gate are \$15. For more information, visit thprd.org.

TOWER OF POWER — The iconic 10-piece ensemble that has wowed audiences for nearly 50 years will headline THPRD's annual Groovin' on the Grass concert event from 6 to 8:30 p.m. Aug. 15. The show will also feature Portland jazz trio Boy and Bean. The event will be staged outdoors on a soccer field at the Howard M. Terpenning Recreation Complex (Southwest 158th and Walker Rd.) in Beaverton. Tickets are on sale at tickettomato.com. General admission tickets are \$10, early entry tickets (allowing entry at 4 p.m.) are \$20, and children under age 5 are free.

BOOKS

DOWNTOWN BEAVERTON

What's on your nightstand?

Here is what Beaverton's bookworms and bibliophiles are reading right now...

"Unbroken"

by Laura Hillenbrand

"Unbroken" is such a powerful tale of one man's will to live, it would be easy to think Hollywood invented it.

But the story is true. The man (Louis Zamperini, a U.S. soldier) survives the crash of his bomber into the South Pacific during World War II. In a raft, with virtually no food, drinking water or shelter, he resourcefully makes it through 47 days. Finally, after drifting for 2,000 miles and repeatedly fending off sharks, he approaches land.



Bob Wayt

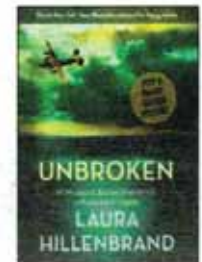
End of story? Hardly. Zamperini is captured by the Japanese. For more than two years, he endures extreme brutality, starvation, disease and humiliation in POW camps.

The physical and psychological hardships would be enough to shatter even the hardest human spirit, but Zamperini doesn't give in. (Still, it takes years — and inspiration from Billy Graham — before his nightmares end.)

Hillenbrand, who also authored "Seabiscuit," recounts all of this in intricate, fascinating detail. Read it to believe it.

Bob Wayt

Tualatin Hills Park & Recreation District



NATURAL LEGACY

THPRD dedicates park
to Roger Tilbury,
a lover of trees and the law



Some of the Douglas firs that Roger Tilbury planted as seedlings in the 1970s.

**Photos and story
by Wendy Owen**
Beaverton Leader/OregonLive

Roger Tilbury loved trees. In fact, the only time he might not have been thinking about trees was when he was arguing an anti-trust case before the U.S. Supreme Court in 1975.

That's right, Roger Tilbury Memorial Park is named after a lawyer, and this one loved nature and wanted to preserve it for his community. He planted almost every tree on the nearly 10 acres of land his family owned in Cedar Mill.

Tilbury, 71, died in December 1996 and his wife, Margaret, in keeping with his desire to protect the family's land from development, donated the nearly 10 acres to Tualatin Hills Park & Recreation District in 2002. At the time, the property, valued at \$1.7 million, was the largest donation to THPRD.

Lacking funds, THPRD wasn't able to turn the donation into an official park until recently. The district added 3 adjacent acres to the park that it already owned and used \$885,000 from the \$100 million bond voters passed in 2008 to create paved and dirt trails, nature play areas and a small playground.

The 13-acre park, located at 965 N.W. 93rd Avenue, opened to the public in December 2014, but THPRD postponed its dedication for better weather. The dedication took place on Saturday.

"I think he would be absolutely overjoyed to see what they've done," Tilbury said of the park ahead of Saturday's event.

Margaret Tilbury said she remembered her husband planting 18-inch tall Douglas firs all over the property, which years before had been used as a dairy farm and included a 100-foot-long chicken coop. The Tilburys removed the chicken house.

Tilbury estimated her husband planted about 200 seedlings over the years after they moved into a farmhouse adjacent to the park.
See Tilbury, A10



Tualatin Hills Park & Recreation District dedicated the Roger Tilbury Memorial Park on Saturday. Tilbury spent years planting 200 firs on the property that his family later donated to THPRD.



CLOCKWISE FROM ABOVE | A knoll has been developed into a play area within the mostly untouched 13-acre park; Robert's wife, Margaret Tilbury; well-known attorney and nature lover Robert Tilbury as a young man.

Tilbury

Continued from A1

cent to the donated land in 1970.

It was backbreaking work and Roger Tilbury squeezed it in between his full-time job as an anti-trust lawyer. He was also an arbitrator for the New York Stock Exchange, the National Association of Security Dealers and the Federal Mediation & Conciliation Service. In addition, he represented the Animal Defenders League and was a co-founder of Greenpeace Oregon, according to his obituary.

Margaret Tilbury grew up on the Dear Ranch in Oakland, near Roseburg. She is still the ranch manager and splits her time between her home in Raleigh Hills and the family cattle ranch. She moved from the house near the Tilbury park about seven years ago.

Margaret Tilbury is the one who chose to donate the land, but she takes little credit. A very private woman, she frequently said “this is about Roger” when the conversation turned to her life.

But she allowed a few peeks into her past. Margaret Tilbury graduated from the University of Washington with a degree in English literature. She had considered becoming a teacher, but instead, became the fourth generation to manage the 2,500-acre Dear Ranch.

She and Roger met in 1949 at Oxford University in England, where they were both taking graduate classes. The couple raised one child, Elizabeth.

Still proud of her late-husband, she talked at length about him and the work he had done.

He won the case before the U.S. Supreme Court, by the way. The case, Vaughn vs. GD Searle & Company, involved a

woman who was suing a drug manufacturer for failing to warn doctors about the dangers of an oral contraceptive. Tilbury and attorney Bruce Rothman represented the woman, who had suffered a stroke.

Roger Tilbury was also known for his sense of humor, said his wife. He traveled a lot for his job, and it appeared one year he would miss Christmas at home, which was his favorite holiday.

“It was getting close,” she said.

Two days before Christmas, his secretary called Margaret and said Roger was sending a very large gift to her and he wanted her to be home to accept the delivery. Margaret figured that meant he wouldn’t be home for Christmas. The doorbell rang and when his wife opened the door, a refrigerator-size box sat on the stoop.

“I cut it open and there was

Roger,” she said, laughing.

His secretary, who was also the delivery person, had taped him into the box before ringing the doorbell and driving away.

Margaret didn’t know THPRD was going to name the park after her husband.

“That was a total surprise,” Tilbury said. “That was wonderful of the park district.”

The park isn’t done yet, said Tim Bonnin, THPRD senior park planner. The district went over budget by \$100,000 and was unable to afford a bridge over a creek to complete a trail to the south.

THPRD is currently looking for grants to cover the \$425,000 cost for the bridge and an overlook along the trail.

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PARKS BUDGET: Tualatin Hills Park & Recreation District will increase its general fund from \$45 million to \$48 million for the 2015-16 fiscal year, including a new fund to replace aging buildings.

The park district has 90 developed parks, 162 natural areas, 60 miles of trails, six recreation centers, eight swimming pools, 108 tennis courts and hundreds of sports fields, and serves 230,000 people in Washington County.

It is financed by property taxes and user fees, and while some user fees have increased in 2015 and will continue to rise for seniors and the disabled, the tax rate for the park district will remain at \$1.31 per

\$1,000 of assessed home value, as the district has reached the maximum it can tax. Another 32 cents per \$1,000 of assessed value goes to repay a \$100 million construction bond passed by voters in 2008. The total rate of \$1.63 is about 9 cents less than this fiscal year because the district paid off a 1994 bond.

The general fund, which pays for operations, is nearly half of the total \$103 million park district budget for 2015-16.

Of the total, \$850,000 will kick off a fund to replace aging buildings as needed. Most are at least 40 years old, and the Beaverton Swim Center is

nearly 60 years old. The park district will also place \$2.3 million in a contingency fund.

— Wendy Owen

ROGER TILBURY'S WIDOW SAYS NAMESAKE PARK IS 'PERFECT'

Margaret
Tilbury's
donation
turns into
hidden gem

By ERIC APALATEGUI
The Times

Walking through the woods behind her former home on a recent warm day, Margaret Tilbury was transported back in time, to a sweltering summer day nearly four decades ago.

On that day in the 1970s, she noticed that her husband, Roger, had been working outside for hours in the 90-degree heat and found him carrying buckets of water to pour on newly planted seedling trees.

"What are you doing?" she told him. "You're going to have a heat stroke in this weather."

"I couldn't stand it," she remembers him saying. "It's like watching little people die."

Thanks to Roger Tilbury's devotion and Margaret Tilbury's donation, those little trees near Cedar Mill have since grown into a towering forest now known as Roger Tilbury Memorial Park, a place where little and big people go to play in the woods.

Roger Tilbury was a prominent Portland attorney who won a case before the U.S. Supreme Court, presided over labor arbitrations and served as a pro-tem judge. A former college athlete, he liked to spend his spare time outdoors, including a five-year span in which he reforested the hilly land-



scape sloping down to a tiny creek.

"Roger planted every one of these trees. I don't know how he did it," she said, craning her neck skyward toward a canopy including Douglas fir and Western red cedar. "He had a great capacity for work."

He died in late 1996 at age 71. Margaret Tilbury later donated more than nine forested acres to Tualatin Hills Park & Recreation District and moved to Raleigh Hills.

Until last week, she hadn't walked through the woods behind her former home for about a decade.

"I can't believe the job they've done," she said of THPRD's development of

the 13-acre park, which includes additional acreage the district purchased. "It's just wonderful to see how they've preserved the best and added to it."

The Tilburys met in 1949 while studying abroad at England's famous University of Oxford, after Roger Tilbury served in World War II. Two



decades later, they had just sold their home in the

Vista Hills neighborhood and were looking for a bit of land. Margaret Tilbury came across the property in 1970 while her husband was out of state, and she summoned him home quickly.

ABOVE: Margaret Tilbury stands in the park named after her late husband, Roger.

LEFT: August Perkins enjoys the new natural features of Roger Tilbury Memorial Park.

TIMES PHOTOS: JONATHAN HOUSE

Tilbury: 'Thank you for putting a park here'

■ From page A1

"As soon as I saw it," she said, "I knew Roger would love it, too."

The home was set on 3.7 acres, but the Tilburys bought some additional parcels in those early years. The area still had a country feel in the 1970s, before the suburbs sprawled so far northward.

At that time, before Roger Tilbury started replanting later in the '70s, much of the land was covered in brush rather than timber. Margaret Tilbury said some of the land may have been used for grazing cows belonging to a dairy that used to be located along nearby Northwest Cornell Road.

They hadn't yet decided what would become of the property before Roger Tilbury died, a few days after Christmas. But they knew they didn't want it to become just another subdivision, Margaret Tilbury said.

When someone later suggested donating the land to the park district, she decided it was the right fit. At the time, the property was appraised at \$1.7 million and still ranks among the biggest gifts in THPRD's 60-year history. The district finished improving the park late last year through the bond measure voters approved in 2008.

THPRD's efforts, and time, have made a distinct difference between Margaret Tilbury's early memories of the property and today's park, which is mostly forest crossed



TIMES PHOTO: JONATHAN HOUSE

Many of the trees in Roger Tilbury Memorial Park were planted by the park's namesake decades ago.

by several trails connecting densely packed neighborhoods.

"I think the park is a great addition to a place like that," she said, allowing residents a place to step into nature.

There's a small clearing with a modern playground and picnic tables and, just down the trail, a fort-like structure made from logs on the property. It is supplied with sticks that allow children to use their imaginations, part of a growing movement known as nature-based play.

As she strolled down the trails, a couple of mothers with children were visiting the park for the first time after one had seen THPRD's Facebook page announcing its June 20 dedication. Margaret Tilbury was a featured guest at

last weekend's event, but the families didn't know who she was until it came up in a brief conversation.

"I like that it's tucked back into the trees," said Natasha Pressler of Bethany, who brought her two boys to play. "It feels like it's a hidden gem."

"It's nice to actually see the children enjoying it," Margaret Tilbury said as she walked back toward a park exit. "I like children's voices, hearing them call and shout. I love seeing them explore."

Just then, one of the children, 7-year-old August Perkins, ran after Tilbury with three younger children in his wake.

"Thank you for putting a park here!" he told her before all four kids raced back to play some more.

McElhinny retiring after 35 years with THPRD

Longtime administrator helped plan many district facilities and programs

By ERIC APALATEGUI
The Times

When Jim McElhinny first landed a job with Tualatin Hills Park & Recreation District, the activities guide was a tri-fold brochure, the district had about 80,000 residents, and a fair number of them had criticized a recent decision to site the district's new athletic center on farmland along a country lane known as 158th Avenue.

Thirty-five years later, as McElhinny prepares to retire on June 30, the catalog of summer activities tops 200 pages, there are 230,000 people living within the district's boundaries, and the expanded Howard M. Terpenning Recreation Complex sits on a major thoroughfare still known as 158th Avenue.

McElhinny, who rose through the administrative ranks and retires as director of Park and Recreation Services, had a firm hand in all the planning that made THPRD what it is today, widely considered among the best parks and rec systems in the Pacific Northwest.

But don't try to get the modest McElhinny to say that.

"It's really a team effort," he said. "It's not just one person."

McElhinny arrived in 1980 with a liberal arts degree from Oregon State University and one year of professional experience with Salem's parks and recreation department.

"This was a place I definitely wanted to be. I was thrilled to be hired here," said McElhinny, but he didn't realize he would



SUBMITTED PHOTO

Jim McElhinny is retiring June 30 after 35 years with the Tualatin Hills Park & Recreation District in a variety of roles.

spend the rest of his career with THPRD. "At age 24, I'll be honest, I was not thinking about age 59."

When prodded enough, McElhinny will mention a few projects that he played a role in bringing to THPRD patrons, including the recreation facility that is a partnership with Portland Community College's Rock Creek Campus, the Conestoga Recreation and Aquatics Center, the Tualatin Hills Nature Park and the Rec Mobile program, which expanded to include the Nature Mobile.

"That touches a lot of kids that we might not normally be able to reach," he said of the mobile programs. "That's one we're really proud of."

McElhinny said the district has thrived because of its patrons.

"We are so fortunate in how we've been supported by this community," he said. "With that support comes a great obligation. We want to try to fulfill those expectations."

He added, "I've been so impressed by the level of volunteerism we have in this community," he said. "They are really the backbone. They allow us to do a lot of what we do."

THPRD General Manager Doug Menke has worked alongside McElhinny for 30 years as both served in a variety of district roles.

"I can turn over an item to him and I know he's going to

cover the bases," Menke said.

His boss said McElhinny is a great communicator, connecting with everyone from fellow staff members to representatives of partner agencies to the general public.

"We can be better if we listen well, and Jim's great at it," Menke said, though adding that McElhinny won't shrink from his beliefs.

"He will not hold back just because I'm his supervisor," Menke said. "He's just a great guy. He's got phenomenal integrity."

McElhinny said the time felt right to retire but the Beaverton resident will remain active in civic life, donating time to the Kiwanis Doernbecher Chil-

dren's Cancer Program, and he'd like to volunteer more time at the hospital itself. He also is on the board of the Washington County Visitors Association and has been active with the Oregon Recreation & Park Association, which six years ago presented him with its highest honor, the David E. Clark Professional Honor Award.

He and his wife, Liz, also plan to travel.

"Thirty-five years has been a great ride," he said. "I've had so many opportunities."

Aisha Panas has been promoted to fill McElhinny's position.

"She's going to do a wonderful job," McElhinny said.

The fun's at
Beaverton Swim
Center on June 27!

Back to the '50s



June 27
2-4 pm

**Beaverton
Swim Center**
12850 SW Third Street
Beaverton, OR 97005

Drop-in Swim 25¢

- ◆ Free food & prizes
- ◆ Activities for kids
- ◆ Special guests
- ◆ Water ballet
- ◆ And more!



TUALATIN HILLS
PARK & RECREATION DISTRICT

thprd.org



THPRD shuffles advisory committees

District's board makes changes despite trails group's objection

By ERIC APALATEGUI
The Times

Tualatin Hills Park & Recreation District's board of directors voted Tuesday to reorganize its advisory com-

mittees into three key groups.

But the change, though unanimously adopted, didn't come without some spirited debate after Tom Hjort, chairman of the current Trails Advisory Committee, said his members opposed the district's plan to meld his group with a natural resources panel to become a new Nature & Trails Advisory Committee.

"Each one is a big subject in itself," Hjort said at the meeting. John Griffiths, leading his fi-

nal meeting as board president, suggested fellow members consider leaving the trails committee alone — even though its focus would be narrower than newer committees — so they didn't destroy the passion on what has been among the district's most active advisory groups.

"I don't want to lose the high-functioning part that we already have," he said. "The road to hell is paved with good intentions."

"I don't think we're going to

hell here," responded Larry Pelatt, who earlier that night was selected as the board's next president and spoke in favor of committee restructuring.

The goal in reshuffling the groups was to make their efforts more effective and improve participation of volunteer members, the general public and board members who will serve as liaisons. Some of the existing groups, some of which are more narrowly focused, have struggled to maintain active memberships, said

Bruce Barbarasch, the district's superintendent of Natural Resources & Trails Management.

The other two newly formed citizen advisory panels are the Parks & Facilities and the Programs & Events advisory committees. Barbarasch said members of most current groups supported the restructuring concept. Current members will be invited to join one of the three new groups before the changes take effect in January, Barbarasch said.

Like Griffiths, a few other

board members also were cautious about pushing members of the Trails Advisory Committee into a broader group but argued that the advantages of the entire plan outweighed the risks. Jerry Jones Jr. suggested that the bigger committees could have working groups to tackle more specific interests like trails.

In the end, all five voted in favor of the plan.

"I think it's important the board stand together on this," Griffiths said.

Out & About

CONCERTS IN THE PARK KICK-OFF

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SPECIAL EVENTS

'BACK TO THE '50S' AT BEAVERTON SWIM CENTER — Tualatin Hills Park & Recreation District will celebrate the 60th anniversary of Beaverton Swim Center with a "Back to the '50s" event at the pool, 12850 S.W. Third Avenue, from 2 to 4 p.m. Saturday, June 27. The event will feature a public open swim for the bargain 1950s-era price of just 25 cents, and everything else will be free, including a hot dog meal, anniversary cake and door prizes. The park district will also organize relay races in the pool for children and provide free coloring sheets with a water safety theme. Swim center staff will offer demonstrations of water ballet, swimming and water safety skills at designated times during the two-hour period. Former Beaverton Swim Center Supervisor Sharron Papapoff and local aquatics legend Rod Harman will also be at the event to greet guests.

Tualatin Hills Park & Recreation District: connecting people, parks and nature

Party in the Park returns on July 25 with more free fun

by Bob Wayt, THPRD

Bring on the cake! Party in the Park, THPRD's largest annual community event, is celebrating its 10th anniversary this year.

The extravaganza of free fun for people of all ages will happen Saturday, July 25, from 11 am to 5 pm at the Howard M. Terpenning Complex, 158th and Walker Road, Beaverton.

Free activities include a Beaverton Police K-9 Unit demonstration, giant inflatables, climbing



Two climbing walls are among the wide variety of free activities available to children at Party in the Park. The event also features giant inflatables.

walls, arts and crafts, and face painting as well as swimming, sports, a tennis clinic, and the THPRD Rec Mobile and Nature Mobile.

The Family Triathlon, which enables family members to swim, bike and run together, has a small participant fee to defray costs. Exhibitors in The Classic at T-Hills pay a modest exhibitor fee, but viewing the vintage cars, trucks and motorcycles is free.

Another major draw of Party in the Park is Celebrate Beaverton, a cultural festival featuring food, music, dance, art, crafts, traditional dress and ceremonies

representing the ethnically diverse communities that make their home here.

"Party in the Park is an active, outdoor event that connects people with their families, friends and community," said THPRD General Manager Doug Menke. "It's really become one of the signature events of the summer in the Beaverton area, one that people look forward to each year.

Party in the Park will transform the district's main complex into a carnival of free activities for people of all ages.

"We're proud to be celebrating our 10th anniversary, and we'll have some special activities related to it."

Free drop-in sports activities are scheduled throughout the day, including swimming at the Tualatin Hills Aquatic Center and



Each year at Party in the Park, members of the Beaverton Police K-9 Unit demonstrate their power, speed and athleticism to hundreds of spectators on Field #1 at THPRD's Howard M. Terpenning Recreation Complex.

basketball, volleyball, badminton, pickleball and table tennis at the Tualatin Hills Athletic Center.

Food and beverages will be available for purchase from a variety of local vendors.

For an activities schedule or other information, visit www.thprd.org or call 503-645-6433.



Ants in the Kitchen kicks off THPRD's summer park shows

The 7-person rock band Ants in the Kitchen will open Tualatin Hills Park & Recreation District's 2015 Concerts & Theater in the Park series on Thursday.

The show starts at 6 p.m. at Arnold Park, 4155 S.W. 182nd Ave., Aloha.

Ants in the Kitchen plays funk, blues and soul standards from the 1970s, complete with horn section.

Other summer entertainment, all free and beginning at 6 p.m., includes:

July 9: Sabroso (Latin funk); Greenway Park, east of Southwest Greenway Boulevard, between Southwest Hall Boulevard and Scholls Ferry Road.

July 12: "Songs for a New World," a two-act revue by Jason Robert Brown; Evelyn M. Schiffler Memorial Park, 5495 S.W. Erickson Ave.

July 16: "Tony Starlight," a live stage entertainment tribute; Cedar Mill Park, 10385 N.W. Cornell Road.

Aug. 6: Petty Fever, a Tom Petty tribute band; Raleigh Park, 3500 S.W. 78th Ave.

Kids' activities and concession foods and beverages will be available at all events. Attendees may bring picnic baskets and leashed dogs are welcome.

For more information visit www.thprd.org and click on "Events."

— Roger Gregory

THPRD budget to rise by \$3M; funds reserved to replace aging buildings

By Wendy Owen
Beaverton Leader/OregonLive

Tualatin Hills Park & Recreation District will increase its general fund from \$45 million to \$48 million for the 2015-16 fiscal year, including a new fund to replace aging buildings.

The THPRD board adopted the budget June 22.

The park district, with its 90 developed parks, 162 natural areas, 60 miles of trails, six recreation centers, eight swimming pools, 108 tennis courts and hundreds of sports fields, serves 230,000 people in Washington County.

It is funded by property taxes and user fees, and while some user fees have increased in 2015 and will continue to rise for seniors and the disabled, the tax rate for the park district will remain at \$1.31 per \$1,000 of assessed home value, as the district has reached the maximum it can tax.

In addition, another 32 cents per \$1,000 of assessed value goes to repay a \$100 million construction bond passed by voters in 2008. This year's total rate of \$1.63 is about 9 cents less than the prior fiscal year because the district paid off a 1994 bond.

The general fund, which pays for operations, is nearly half of the total \$103 million park district budget for 2015-16.

Of the total, \$850,000 will

kick off a fund to replace aging buildings as needed. Most are at least 40 years old, and the Beaverton Swim Center is nearly 60 years old. The park district will also place \$2.3 million in a contingency fund.

Below, some highlights and interesting budget tidbits:

- Maintaining all the parks, sports fields and facilities is one of the largest pieces of the pie at \$13.3 million. The 132 employees maintain the pools, parks, recreation centers, sports fields and nature areas, which include everything from painting and plumbing to irrigation systems and drinking fountains. The department added one full-time maintenance employee for 2015-16.

- The district employs about 177 full time and 26 regular part-time staff in addition to between 600 and 900 seasonal part-time staff.

- About \$31 million of the \$100 million construction bond remains, which can be used to acquire future park property and develop parks and trails.

- The park district is planning to acquire up to eight park properties — four in North Bethany, three in South Cooper Mountain and one in Bonny Slope West — as well as five natural areas located in the Bannister Creek area, the Bronson Creek corridor and Bonny Slope West.

- The park district wants to install solar-powered trash compactors to help reduce the number of trips made to dispose of trash from park shelter sites.

- The park district expects to use 42,000 gallons of gasoline and 12,500 gallons of diesel next fiscal year.

- THPRD plans to spend \$25,000 for a replacement cargo van, \$55,000 for a field tractor, \$1,000 for a replacement carpet shampooer and \$1,200 to replace the batteries and brushes on the tennis court sweeper.

- The park district sold \$10,245 worth of tennis balls this year and expects the same in 2015-16.

- System development charges paid by developers are expected to bring in \$4.7 million in 2015-16.

With that, THPRD will have \$16.2 million in its system development charge fund. About \$7 million of that will pay for land acquisition. The balance is earmarked for a variety of other needs, including partial funding of the new synthetic turf athletic field at Conestoga Middle School, a deck expansion at the Tualatin Hills Aquatic Center, multiple trail projects, and more, said Bob Wayt, THPRD spokesman.

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THPRD opens six 'cooling centers'

The Times

With the arrival of another heat wave, Tualatin Hills Park & Recreation District has opened six of its Beaverton-area facilities as "cooling centers" through the weekend.

For families and individuals who have no escape from the heat, THPRD welcomes them at the following locations during regular business hours:

- Cedar Hills Recreation Center, 11640 S.W. Park Way, Portland, 503-629-6340
- Conestoga Recreation &

Aquatic Center, 9985 S.W. 125th Avenue, Beaverton, 503-629-6313

■ Elsie Stuhr Center, 5550 S.W. Hall Blvd., Beaverton, 503-629-6342

■ Garden Home Recreation Center, 7475 S.W. Oleson Road, Portland, 503-629-6341

■ Tualatin Hills Athletic Center, 50 N.W. 158th Ave., Beaverton, 503-629-6330

■ Tualatin Hills Nature Center, 15655 S.W. Millikan Way, Beaverton, 503-629-6350

The hours of operation vary at each facility. Call for details.

"As many people know, a heat watch is in effect Friday

through Sunday, with temperatures reaching as high as 100 degrees," said Doug Menke, THPRD's general manager. "No food will be served at our cooling centers, but we will provide shelter from the heat during our normal hours of operation for those people who need it."

Meanwhile, Menke said residents who work or do other strenuous activity outside should drink plenty of water, wear a hat, apply sunscreen and take frequent breaks. The American Red Cross has more advice at redcross.org.



PHOTOS BY WENDY OWEN/STAFF

Ants in the Kitchen kept the tunes going in nearly 100-degree heat. Tualatin Hills Park & Recreation District kicked off its season of Concerts & Theater in the Park on July 2 at Arnold Park in Aloha.

LIVE from THPRD!

Tualatin Hills Park & Recreation District's free summer entertainment series gets its parks programs started

By Wendy Owen
Beaverton Leader/OregonLive

Melissa Riley goes to all the Tualatin Park & Recreation District Concerts & Theater in the Park events, even when it's nearly 100 degrees outside.

"They have that small town feel and you know your kids are safe," she said.

It also helps that Riley runs the Beaverton Civic Theater, which is putting on the theater performance this season.

THPRD kicked off its free Concert & Theater in the Park season on July 2 at Arnold Park

near the International School of Beaverton in Aloha.

According to Bob Wayt, communications director for Tualatin Hills Park and Recreation District, about 250 people turned out for the concert by Ants in the Kitchen. Although that's lower than attendance last year, heat may have been a factor in keeping folks away.

It is the 12th consecutive year for the concert and theater performances, which cost the park district about \$14,500 this year.



Alison McManus (right) paints a flower on Maiya Pitts' cheek. Facepainting was one of the activities offered at Tualatin Hills Park & Recreation District first summer entertainment program at Arnold Park.



FAR LEFT | Shayira Albright, 6, shows off her face-painted rainbow.

LEFT | An Australian shepherd hangs out with its people.

Coming up

The schedule this year includes the following. All performances begin at 6 p.m. and end at 8 p.m.

July 9: Sabroso, Greenway Park.

July 12: "Songs for a New World" theater performance, Schiffler Park.

July 16: Tony Starlight, Cedar Mill Park.

Aug. 6: Petty Fever, Raleigh Park.



HANDOUT PHOTO

Petty Fever, a tribute band featuring the music of rocker Tom Petty, comes to Raleigh Park Aug. 6 as part of THPRD's 2015 Concerts & Theater in the Park series.

Fun ways to beat the heat



WENDY OWEN/STAFF

Wipeout! is a floating, slippery obstacle course that Tualatin Hills Park & Recreation inflates from time to time at different pools. With temperatures hovering around 100 degrees outside recently, kids lined up at the THPRD Sunset Swim Center indoor pool to try their luck traversing the obstacle course on June 25.

Cedar Mill Park renovation celebrated July 16

Brief ceremony will take place during the Tony Starlight Band's intermission

By ERIC APALATEGUI
The Times

Tualatin Hills Park & Recreation District will celebrate recent improvements at Cedar Mill Park during a Concert & Theater in the Park performance this week.

The Tony Starlight Band will begin its free performance at 6 p.m. Thursday in the park at 10385 N.W. Cornell Road.

During the band's 7 p.m. in-

termission, a brief dedication ceremony will include remarks and a ribbon cutting before the band resumes its performance.

Also during the event, THPRD will provide free cake and door prizes, including tickets to the district's Groovin' on the Grass concert with Tower of Power on Aug. 15.

The THPRD Rec Mobile and Nature Mobile will also be at the event offering fun activities for children, and district employees will staff an informational table.

The Cedar Mill Business Association will bring back its passport contest for the event. The contest encourages concert-goers to pick up a passport at the concert entrance,

visit all of the community partner exhibits and get their passport stamped along the way. All completed passports will be placed in a drawing for a gift basket.

Cedar Mill Park, at nearly 6 acres, reopened late last year after several months of renovation funded by the district's 2008 voter-approved bond measure.

Improvements include a new sports field and tennis courts, trails and play equipment. The project also included the redevelopment of the baseball/multipurpose sports field at neighboring Cedar Mill Elementary School through an agreement between districts.

Another new feature is an

asphalt path leading from the park to 106th Terrace and 107th Avenue, which neighborhood children can use to walk to the elementary school. The path also improves access to THPRD's nearby Jackie Husen Park and Jordan Woods Natural Area.

"We're really pleased with how the park turned out," said Doug Menke, THPRD general manager. "It looks good and we're confident our residents will enjoy using all the new amenities for years to come."

The project was designed with community input and included enhancements to natural areas. THPRD's Natural Resources staff continues to plant native trees and shrubs at the site.

MUSIC

TONY STARLIGHT SHOW AT CEDAR MILL PARK — Billed as a love letter to the bygone days of live stage entertainment, the Tony Starlight Show is an ever-evolving hybrid of music and comedy, combining song parodies, musical impressions and tributes to iconic artists. The event will take place from 6-8 p.m. Thursday, July 16 at 10385 N.W. Cornell Road. Part of Tualatin Hills Park and Recreation District's summer concert series, THPRD will do a brief dedication ceremony at intermission celebrating improvements to the park funded by its 2008 voter-approved bond measure.

TOWER OF POWER — The iconic 10-piece ensemble that has wowed audiences for nearly 50 years will headline THPRD's annual Groovin' on the Grass concert event from 6 to 8:30 p.m. Aug. 15. The show will also feature Portland jazz trio Boy and Bean. The event will be staged outdoors on a soccer field at the Howard M. Terpenning Recreation Complex, Southwest 158th and Walker Road in Beaverton. Tickets are on sale at tickettomato.com. General admission tickets are \$10, early entry tickets allowing entry at 4 p.m. are \$20, and children under age 5 are free.

THPRD NATURE MOBILE — Drop in from 1 to 3 p.m. Thursday, July 16 to discover what makes insects so amazing through hands-on activities and crafts.



Party in the Park returns this Saturday for its 10th edition. The celebration is at the Howard M. Terpenning Recreation Complex.

Party in the Park ready to roll on Saturday

Most events are set to kick off at 11 a.m. in Beaverton

By MILES VANCE
The Times

What a decade!

The annual Party in the Park — Beaverton's biggest celebration — is back for its 10th year, set for Saturday at the Howard M. Terpenning Recreation Complex, 15707 S.W. Walker Road, in Beaverton. Most events kick off at 11 a.m. Saturday.

The Party in the Park, sponsored by Tualatin Hills Park & Recreation District, turns 10 in 2015, but just like always, the event is more about giving the party back to area residents.

The Party in the Park — and its 2015 iteration coincides with THPRD's 60th anniversary — attracted nearly 10,000 people last year and is once again reaching out to all ages with its action-packed day of activities.

"It's the park district's way to say 'Thank you' to the community every year for all their support," said Lisa Novak, THPRD's Superintendent of Programs & Special Activities. "It's very family oriented and there's lots of activities for kids to do."

It's also a way for the park district to welcome new people to the area and give them a

See PARTY / Page 13

Party Time

What: THPRD's annual Party in the Park

Where: Howard M. Terpenning Recreation Complex, 15707 S.W. Walker Road

When: Most events open at 11 a.m. Saturday

What Else: The event includes games for kids, a car show, music, food, free sports and the Family Triathlon

Web: thprd.org/events/party-in-the-park

Party: Most activities free

■ From page A1

chance to check out the huge array of activities, facilities and programs THPRD has to offer at its 92-acre complex.

As part of the party, the City of Beaverton invites the public to its Celebrate Beaverton Cultural Festival from 11 a.m. to 5 p.m. Formerly known as the

Beaverton International Celebration, the festival features 11 stage performances from local musicians and dance troupes. It will also include more than 45 cultural exhibitors and family-friendly activities all day at the Kids and Culture Area canopy.

And even better, almost everything at this party is free (the exceptions are the regis-

tration fee for the Family Triathlon, registration for The Classic at T-Hills car show, and the offerings from the food and beverage vendors).

More information is available at thprd.org/events/party-in-the-park. The Party in the Park special section is at publications.pmgnews.com/fpubs/party-in-the-park-2015.

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July 25

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schedule, visit **thprd.org**



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**TUALATIN HILLS
PARK & RECREATION DISTRICT**



Michael Maloney (from left), Jeaneth Villegas and Anna Brachworth attempt the Tinikling, a traditional Philippine dance.

A party for ALL

Photos and story by Sam Caravana • Beaverton Leader/OregonLive

Despite intermittent rain, citizens headed to Howard M. Terpenning Recreational Complex for the Party in the Park on Saturday, July 25.

Put on by Tualatin Hills Park & Recreation District, the all-day festival featured activities from rock climbing to a classic car show.

Much-needed rain showers drove some

participants into the park's indoor facilities — where table tennis, basketball and the aquatics center were available.

The event also featured the Beaverton Cultural Festival, which highlighted the ethnic and racial diversity of the area with live performances from Japanese Koto to the traditional Philippine dance Tinikling.



Members of Oregon Koto-Kai perform.

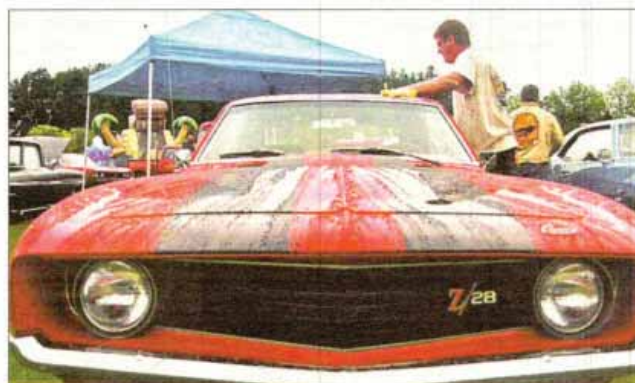


Children meet Beaverton Officer Steve Anderson and his canine partner, Alex.



Zachary Willingham climbs a mobile rock wall.

Michael Cole wipes his 1969 Chevrolet Camaro Z/28 after a rain shower.



To see more photos from Party in the Park, go to Orne.ws/1J121xR

Neighbors fear sports park plan

Noise, traffic and lights could disrupt their lives, critics say

By ERIC APALATEGUI
The Times

When Edward and Tamara Lewis bought their house 15 years ago, they accepted the noise of Southwest 170th Avenue in their front yard by taking solace in the quiet park that stretched toward summer sunsets just beyond their back fence.

The Lewises fear they soon will be getting an earful from both directions.

Tualatin Valley Park & Recreation District next year will begin constructing a sports complex at what they currently call SW Quadrant Community Park, located behind Mountain View Middle School near the intersection of Southwest Farmington Road and 170th.

The park, which will feature several all-season synthetic fields (including Oregon's first Champions Too athletic field designed for people with disabilities), fulfills a pledge to voters who approved a \$100 million bond measure in 2008.

With multiple sports fields, some with all-season turf, plus an accessible playground, community garden, trails and other features all in one location, it promises to be a popular destination for a broad group of patrons.

But for about 100 nearby neighbors, the promise feels tarnished by concerns that the park will bring noise, traffic and bright lights barging into their lives.

"They're meeting their needs," said Tamara Lewis. "But they're not meeting the needs of the residents that are here."

"It's a big deal to a lot of the neighbors," agreed another neighbor, Monte Ypma.

But neighbors this week may have forfeited their best remaining opportunity to fight the plans.

Several of them pitched in for the \$250 fee to appeal Washington County's recent approval of the park district's plans, but they accidentally missed the July 27 filing deadline by one day. They are considering other options to fight the park plan.

THPRD officials said most neighbors were supportive of



Edward Lewis walks along his backyard near the fence between his property and a future sports park behind Mountain View Middle School. He and his wife fear the park will be noisy, increase traffic and reduce their home's value.

TIMES PHOTOS: JAIME VALDEZ

their plan during public meetings last year, after they determined that locating the park behind the middle school would allow them to forge an agreement with the Beaverton School District to share the school's fields and parking areas during non-school hours. The arrangement will also give taxpayers a bigger bang for their bond bucks than other properties they considered, said Tim Bonnin, project manager for the district.

The original project budget of \$7.5 million is expected to increase because the scope of this project has grown to include a larger site and the Champions Too field, part of an "Access for All" campaign to make the property more inclusive to people regardless of barriers that might include physical or intellectual ability, income, age, and language or culture.

A current fundraising campaign will help pay for accessibility elements at the park while bond measure funds will cover the remaining budget.

Park officials said this week that recent criticism from neighbors, including several letters and a petition, took them by surprise coming so late in the process. The district's board approved the master plan last November.

"There was a lot of positive feedback on the projects," said Steve Gulgren, the district's superintendent of design and development. "This is a big deal."

Ypma, an architect, served on a THPRD task force and said

there was early criticism, but he felt district officials discounted those concerns and "pretty much plowed ahead" with the plan. He and other neighbors believe the district simply is trying to put too many fields onto the site, placing the players and lights just beyond the neighbors' back fences. Games will be allowed until 10 p.m. under proposed park rules.

"They're really trying to cram too much onto a tight site," Ypma said. "It's essentially busting at the seams."

Philip Bailey, who lives just south of the park site and circulated the petition, said they already hear bands and cheering from Aloha High School a mile away. When the sporting events are less than 100 feet away and accompanied by towering lights, he fears his young children won't be able to get enough sleep.

"That's one of our biggest concerns," he said, "is the noise."

Neighbors also are worried that cars going in and out of a driveway to a future 60-space parking lot off 170th will further clog that street's traffic flow, which has worsened as growing neighborhoods from Cooper Mountain south to Sherwood continue funneling more traffic through their neighborhood.

"I will never get home," said neighbor Susan Stocker, who described rush-hour backups on that stretch of 170th between traffic signals at Southwest Farmington Road and Oak Street.



Susan Stocker shares her concern of Tualatin Hills Park & Recreation District and Washington County creating an access road to Lawndale Park from Southwest 170th Avenue. The concern is that SW 170th is already congested with motor traffic and what that would mean for the residents who live next to the park.

Stocker was among neighbors who suggested that the district could funnel all traffic to the park from Farmington Road,

where there already are traffic signals near Mountain View. District officials said that option was considered but wouldn't al-

low the general public to get to the park while school was in session.

The park district will preserve a large grove of large Douglas fir trees on the southwest side of the site, which connects to existing Lawndale Park, but will remove other trees that interfere with the plans to develop fields and other facilities.

Some neighbors don't want trees cut near their fence lines and also believe crowded sporting events could shift some cars into the neighborhoods in search of additional parking.

Gulgren said the district already took some steps to help alleviate neighbors' concerns, including a redesign that shifted fields a little farther from homes. There was talk of building sound walls but the idea was rejected.

Bonnin, the project manager, said immediate neighbors are frequently apprehensive about park projects before they are built, but in the past, most of the critical neighbors grew to love their parks.



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TUALATIN HILLS
PARK & RECREATION DISTRICT

8/27/15 02:05



Members of Grupo Ritual Azteca Huitzilopochtli perform as part of the Celebrate Beaverton Cultural Festival during the Party in The Park at the Howard M. Terpenning Recreation Complex.

TIMES PHOTOS: JOHN LARIVIERE

PARTY IN THE PARK

The Times

The annual Party in the Park — Beaverton's biggest celebration — was back in style on Saturday, this time, celebrating its own 10th birthday with another fun-filled day of games, sports, cars, music and food, all of it sponsored by Tualatin Hills Park & Recreation District. The event was held at the Howard M. Terpenning Recreation Complex.



K9 Officer Enzo attacks Officer Jered Lutu playing the 'Bad Guy' during the opening of the Beaverton Police K9 Division demonstration at the Party in the Park last Saturday.



Out&About

THPRD NATURE MOBILE — Drop in between 1 and 3 p.m. Aug. 13 to learn all about nature through fun games and activities led by a naturalist from the Nature Park Interpretive Center.

TOWER OF POWER — The iconic 10-piece ensemble that has wowed audiences for nearly 50 years will headline THPRD's annual Groovin' on the Grass concert event from 6 to 8:30 p.m. Aug. 15. The show will also feature Portland jazz trio Boy and Bean. The event will be staged outdoors on a soccer field at the Howard M. Terpenning Recreation Complex, Southwest 158th and Walker Road in Beaverton. Tickets are on sale at tickettomato.com. General admission tickets are \$10, early entry tickets allowing entry at 4 p.m. are \$20, and children under age 5 are free.

PETTY FEVER TO PLAY — A two-time recipient of the Los Angeles Music Awards' "Tribute Band of the Year Award," Petty Fever pays homage to Tom Petty & the Heartbreakers. Part of Tualatin Hills Park and Recreation District's summer concert series, the band will perform from 6-8 p.m. Thursday, Aug. 6, at Raleigh Park, 3500 S.W. 78th Ave. in Portland. The high-energy show is packed with classic Petty hits perfect for dancing or singing along. The event is free and open to the public.

THPRD NATURE MOBILE — Drop in from 1 to 3 p.m. Thursday, Aug. 6, to learn all about nature through fun games and activities led by a THPRD naturalist.



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HOPE TO SEE YOU THERE!

Tualatin Hills Park & Recreation District: connecting people, parks and nature

See Tower of Power thrill Beaverton for just \$10 per ticket

by Bill Evans, THPRD

Tower of Power – the iconic 10-piece ensemble that has wowed audiences for nearly 50 years with its soulful, horn-driven sound – will headline THPRD’s annual Groovin’ on the Grass concert event on Saturday, Aug. 15, 6-8:30 pm. The show will also feature Portland jazz trio Boy and Bean.

Groovin’ on the Grass will be staged outdoors on a soccer field at the Howard M. Terpenning Recreation Complex (158th and Walker Road) in Beaverton. Gates open at 5 pm.

Tower of Power tickets are available online through Aug. 14 at www.thprd.org/groovin. General admission seats are just

\$10. Early entry tickets, entitling guests to enter the venue at 4 pm (one hour before gates open), are \$20. Children under age five will be admitted free.

On the day of show, general admission tickets will be available at the gate for \$15 and early entry will cost \$25.

Beer, wine and food will be available for purchase at Groovin’ on the Grass, including craft beers from event sponsor Golden Valley Brewery.

Blankets and low beach chairs will be permitted in the main seating area; guests with taller lawn chairs will be asked to occupy the sides and rear of the seating area. Areas will be designated for people who use a wheelchair.

Since 1968, Tower of Power has



During a music career that has lasted nearly 50 years, Tower of Power has produced a long string of albums and hit songs, including “So Very Hard to Go,” “You’re Still a Young Man,” and “Don’t Change Horses in the Middle of a Stream.” Four of the original members are still with the band, which was founded in 1968.

toured the world, performing what founding member Emilio Castillo describes as “urban soul.” The band has earned acclaim with its legendary rhythm section,

performing with Aerosmith, Elton John, Little Feat, Phish, Santana, Heart, and hundreds of other acclaimed artists during a historic and prolific tenure.

The band – which boasts four founding members in Castillo, Rocco Prestia, Stephen Kupka, and David Garibaldi – has released 18 studio albums and continues to tour nationally and internationally.

Boy and Bean delights audiences with Depression-era swing and jazz standards, covering artists such as Billie Holliday, Louis Armstrong, and Ella Fitzgerald. The trio – Amber Short, Luke Short and Andrew Jones – is a fixture at Portland-area venues.

For more information on Groovin’ on the Grass, visit www.thprd.org/groovin.



Events... Just for Seniors!

@Elsie Stuhr Center

EVENTS



Got Stuff? The Elsie Stuhr Center is gearing up for it's largest annual fund-raiser the Harvest

Bazaar Sale-a-bration.

Do you have clutter around the house? We will be accepting donations beginning August 3 (M-S 9a-4p) through September 9 (9a-noon). We're looking for your vintage items, gently used clothing, furniture, housewares, sporting goods, books, & collectibles. All donations are tax deductible.

The one day sale will Friday, September 11th 8a-6:30p. Something for everyone! For more information call 503.629.6342.

Walk & WOW (Wellness On Wheels)

8/24-9/4 M/W/F 8:30-9:30 am
Meet in the Stuhr Center Backyard. We will walk to a local park,



meet the WOW van for some strength and balance exercises and then walk back to the center. Please register at the front desk. Deluxe fitness passes are welcome.. Please sign up at the front desk so we can plan for adequate staffing

ES12643A SD\$29.50 ID/AP \$37 OD \$46.25

Yoga Outdoors

8/24-9/4, Tu/Th 8:30-9:30 am
Increase balance, strength, and peace of mind by practicing yoga under the trees on the lawns of the Elsie Stuhr Center. This class is suitable for beginners to experienced yoga practitioners.

ES12650A ID \$27 SD \$21.50 OD \$33.75



For more information:
5550 SW Hall Blvd, Beaverton.
503.629.6342